

Property Purchase Application

Thank you for your interest in obtaining a Richmond Land Bank (RLB) property. The RLB is committed to returning vacant, abandoned, surplus, or tax-delinquent property to productive use that benefits and enriches the community, with a priority placed on the creation of permanently affordable housing. All applications shall be reviewed for (1) relevance and alignment with the Annual Plan and (2) strength of applicant's narrative and qualifications. In order for a Property Purchase Application to be considered, the applicant must first be eligible as a Qualified Applicant. For additional information on becoming a Qualified Application please refer to https://www.richmondlandbank.com/apply. Before making a final decision regarding an applicant's eligibility, the RLB may request additional documentation or materials.

1. Applicant Infor	mation			
Name:				
Address:				
Phone:				
Email:				
·	s) of the property(ies) y		-	neir intended use
Address	Building or Lot?	Intended Use	Price	
				_
			1	

4. Development/Management Plan

For Buildings - Please Check Box

		Redevelopment		Management
	Renova	ate/Rehabilitate		Redevelop and re-sell to an owner
	Occup	y/Operate As-Is		occupant
	Demoli	ish/Deconstruct		Operate this property as a rental
	New C	onstruction		Occupy this property with my own
				business
-		o Building Standards: Your proposal m		
_		d adhere to Virginia state building codes.		.
	-	hmond visit: http://www.richmondgov.com		
Additio	onally, R	RLB encourages developers to include en	ergy	y efficiency standards in homes.
Podov	volonma	ent Plan: Be as specific and detailed as p		sible with providing information to
	-	proposal.	0055	sible with providing information to
	e attach	порозат.		
		contract with qualified individuals to com	nde	te the project
		ited timeline for completion	ipic	te the project
		t budget form (attached), including status	of a	any fundina such as:
_	•	Loan Pre-Qualification Letter	OI 6	any funding such as.
		Grant Award/Funding Commitment		
		natics/sketches/drawings of redevelopmer	at n	lan
		ription of applicant's experience completi	-	
_		g to complete the project	ng .	sirillai projects, trieli qualifications of
	-	nentation, if available, of ongoing or past \	worl	k in the surrounding neighborhood
_		Provide demographics of past project res		
	_	level, race, gender, household size, age	Siuc	ents, including, but not inflice to Aivi
	Reason	ns for interest in the property (i.e. type of	etri	acture neighborhood/location price
_		al connection). Please provide at least a		
	=	oes your project address community ineq		
_		Please address the community need that		
	_	neighborhood.	ı yc	d are serving with statistics about the
		Provide demographic targets for future p	roie	ect residents including but not limited
	_	to, AMI level, race, gender, household si	-	_
	П	Provide the target purchase price or rent		age.
		of support (community leaders, neighbor		residents neighborhood
_		ations, etc.)	ıg	rediadrito, neignidornoud
	4000016	20010, 000. <i>j</i>		

Rental Management Plan: If you plan to manage the property as a rental, please demonstrate your capacity to manage and maintain the property either as an established landlord or as a new one.

	of Management Income Expense Budget (attached) ion of your marketing plan
•	ion of management procedures
☐ Standard lease ag	
□ Anticipated market	
•	t Housing Choice Vouchers: YES NO
	·
Maintenance Plan:	
If you plan to use a local	property manager, list their contact information below:
Name/Phone Number:	
Company	
If you are working with a	real estate agent, list their contact information below:
Name/Phone Number:	
Company	
5. Statements of Unders full understanding of RLB	standing: Please initial beside the following statements to demonstrate sterms.
Lunderstand that the	e RLB may receive multiple bids or offers to purchase properties and
that it is at the sole discre	etion of the RLB to accept or reject any and all bids or offers. RLB may ansfer of this property if no applicant meets desired requirements.
I understand that the	ere is no binding agreement with the RLB until the signing of the
Purchase & Sales agreer	
I understand that I w	vill be responsible for ensuring this property is not in violation of city
codes and that it meets a	Ill regulations as soon as it comes into my ownership.
I understand that I w	vill be given six (6) months to obtain all necessary permits and eighteen
	proposed work. I acknowledge that my failure to meet these
requirements will invoke the property to the RLB's ste	the reversion clause in the development agreement, returning the wardship.
I understand that all	property is sold as is and any potential hazards are not the
responsibility of the RLB	upon transfer.

Richmond Land Bank Property Purchase Application

Attachment: Redevelopment Plan

Overview

project:HOMES is submitting an application to build a new two story single family detached home at 1800 Albany Avenue. As a nonprofit community development corporation, we realize our mission "Improving lives by improving homes" by building high quality, affordable homes. Our construction techniques have helped set the standard for affordable and market rate infill construction in Church Hill and other city neighborhoods. The 1,500 square foot home proposed for this property will have three bedrooms and two and a half bathrooms with front and rear porches.

Construction of the new home at 1800 Albany Avenue will be financed by project:HOMES' operating credit line with BB&T and subsidized by project:HOMES FY21 Blackwell Affordable Homeownership grant from the City of Richmond Department of Community Development. This grant has supported the construction of three affordable homes in the 2000 block of Albany Avenue and has funding for four additional homes in the Blackwell neighborhood. Construction costs can be found in the budget attached. Plans and truss engineering have already been completed for this project and permit applications can be submitted as soon as the property is transferred and soil tests and surveys are completed. Construction can begin as soon as a permit is issued and this project would take a priority slot in our FY21-22 production plan. Our goal is to have the home completed and sold by October 1st 2021. The home will be sold to a buyer with an annual income at or below 80% of the area median and the land will be sold to the Maggie Walker Community Land Trust for \$1 ensuring lasting affordability of this property.

We will operate as the general contractor for this project, licensed under the name Elderhomes Corporation. Project:HOMES utilizes a project management system for all of its new construction projects where one of our experienced construction project managers is assigned to and responsible for all labor and materials that go into the construction of each home. This individual focus and attention and clear assignment of responsibility and authority enables the project manager to provide great attention to detail and process planning. We believe that this method results in a higher quality home and a more efficient construction process.

Previous Experience

Our expertise in new home design, construction, and residential infill development will be utilized in all aspects of this project. When working in existing neighborhoods, honoring the architectural character of that neighborhood is always a priority for our designs. Project:HOMES has extensive experience building new homes in the city of Richmond and has a solid working knowledge of City of Richmond zoning code, building code, and Department of Public Utilities requirements. Our history of building quality infill homes in Richmond has given

us the opportunity to build and maintain good working relationships with city planners, zoning officers, and inspectors.

Project:HOMES has worked with various partners over the last 20 years to build and renovate 227 homes in the city of Richmond and counties of Henrico and Chesterfield all of which were sold low to moderate income owner occupants. Our partners have included the City of Richmond, RRHA, Bon Secours, Housing Opportunities Made Equal and the Better Housing Coalition. Project:HOMES partnered with the Maggie Walker Community Land trust to build their first home at 1114 North 26th street in 2017. Project:HOMES and the CLT have enjoyed a strong partnership in the last five years producing 26 homes in neighborhoods throughout Richmond. We are excited to again have an opportunity to provide a perpetually affordable home and build our first CLT home in the Blackwell neighborhood.

Interest in Property

The construction of one of our homes at 1800 Albany Avenue will reinforce the positive impact of the thirteen homes that project:HOMES has renovated or built in the adjacent blocks. Building another affordable new home at 1800 Albany Avenue will also support the five new homes that project:HOMES will build as a part of the upcoming Blackwell homeownership partnership with the Maggie Walker Community Land Trust. The home at 1800 Albany Avenue will feature architectural style congruent with the Blackwell neighborhood, an efficient floor plan, and our standard high quality finishes.

Community Equity

The Richmond Regional Housing Framework released in January 2020 published data showing a decrease of black homeownership in Blackwell and Manchester while there was an increase of white homeowners by more than 100% in those same two neighborhoods. To address this inequity, a stated goal of the Framework is to "Support Racially Inclusive Wealth Creation by Increasing Homeownership Opportunities for Low and Moderate Income Households." One of the priority solutions to this goal designated in the Framework is to expand the community land trust homeownership model. In the Church Hill, Randolph, and Southern Barton Heights neighborhoods, project:HOMES has sold 26 single family homes using this model to the Maggie Walker Community Land Trust. The new home constructed at 1800 North Albany Avenue would align with this solution to the Framework's goal of addressing homeownership inequity by adding an additional opportunity for a low to moderate income household to purchase their first home.

A NEW RESIDENCE 1800 ALBANY AVENUE RICHMOND, VIRGINIA

LIST OF DRAWINGS

NO. TITLE **COVER SHEET** A-001 A-101 **FOUNDATION PLAN FLOOR PLANS** FRAMING DETAILS A-102 FRAMING PLANS STRUCTURAL NOTES A-103 BRACED WALL PANEL DATA / DETAILS **BUILDING ELEVATIONS** A-201 A-301 **BUILDING SECTION / SCHEDULES ELECTRICAL POWER AND LIGHTING** E-101

BUILDING DATA

CONSTRUCTION OF A NEW SINGLE-FAMILY, DETACHED, SCOPE OF WORK: TWO-STORY RESIDENCE. 2015 VIRGINIA RESIDENTIAL CODE APPLICABLE CODES: R-7 ZONING DISTRICT: 15 FEET SETBACKS - FRONT: 3 FEET 5 FEET VB (WOOD FRAME, UNPROTECTED) CONSTRUCTION TYPE: R-3, SINGLE FAMILY RESIDENCE USE GROUP: 1ST FLOOR: 770 SQ FT (11.95% OF LOT AREA)
2ND FLOOR: 770 SQ FT
TOTAL: 1,540 SQ FT **BUILDING AREAS:** LOT AREA: 6,940 SQ FT FIRE RATED ASSEMBLIES: NONE ARE REQUIRED, ALL EXTERIOR WALLS ARE GREATER THAN 5'-0" TO ANY LOT LINE OR CENTER OF PUBLIC WAY. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DESIGN/BUILD AND COMPLY WITH NATIONAL ELECTRICAL CODE CURRENT EDITION. PERMIT DRAWINGS FOR THOSE AREAS OF WORK SHALL BE SUBMITTED BY THE DESIGNATED TRADE.

GENERAL NOTES

1. CONTRACTOR SHALL CONFORM TO THE 2015 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE VAUSBC AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.

3. CONTRACTOR SHALL CAULK, FLASH OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT.

4. CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.

5. ALL WOOD SILLS THAT ARE WITHIN 8" OF EXPOSED EARTH OR ON CONCRETE SLABS SHALL BE PRESSURE PRESERVATIVE TREATED.

6. ALL HOSE BIBBS SHALL BE FREEZE PROOF AND HAVE A BACKFLOW PREVENTER.7. RUN ALL TOILET FANS AND EXHAUST VENTS TO AN APPROVED EXTERIOR

8. 8" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING.

9. CONTRACTOR SHALL COORDINATE PLACEMENT OF ROOF FRAMING AND INSTALLATION OF ANY ATTIC ACCESS HATCHES AND SKYLIGHTS.

10. ALL FIXED GLAZING IN WINDOWS AND DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED PER THE REQUIREMENTS OF VRC CHAPTER R308 WHERE OCCURING IN THE HAZARDOUS LOCATIONS IDENTIFIED THEREIN.

11. SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD ROOF TRUSSES, GIRDERS AND BEAMS, IF ANY.

12. HVAC CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS TO AN APPROVED LOCATION.

13. ALL EXPOSED GUTTERS, DOWNSPOUTS AND FLASHING TO BE PRE-FINISHED.

14. INSULATE ALL WALL AROUND BATHROOMS/TOILETS WITH 3 1/2" UNFACED BATT INSULATION.

15. SHELVING AND SHELF AND RODS TO BE BRACED AT 4'-0" O.C. MAX.

16. VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS, TUBS, HVAC EQUIPMENT AND OTHER BUILT—IN FIXTURES OR EQUIPMENT.

17. SILL PLATE ANCHORAGE — 1/2" DIAMETER X 18" LONG ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND 12" MAXIMUM FROM CORNERS. ANCHOR BOLTS SHALL BE GROUTED SOLID IN MASONRY CORES, NOT MORTAR JOINTS.

18. INSULATE ALL PIPING AT EXTERIOR WALLS.

19. PROVIDE RECESSED BOX WITH VALVE TO AREA BEHIND REFRIGERATOR FOR ICEMAKER.

20. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT NECESSARY TO CONTROL EXISTING GROUND FAULT CURRENT AT THE SITE.

21. ALL WASHING MACHINES AND WATER HEATERS TO BE SET IN A PLASTIC OVERFLOW PAN WITH A DRAIN TO AN EXTERIOR OR APPROVED DISCHARGE.

22. GENERAL CONTRACTOR IS REQUIRED TO COORDINATE UNDER CUTTING OF DOOR WITH THE HVAC CONTRACTOR FOR ADEQUATE RETURN AIR FLOW.
23. ONLY GALVANIZED NAILS AND OTHER CONNECTORS TO BE USED IN EXTERIOR WOOD FENCES, RAILS, STAIRS, ETC.

24. CLOTHES DRYER EXHAUST SHALL COMPLY WITH THE 2012 VA RESIDENTIAL CODE
25. ALL DIMENSIONS SHOWN ARE ACTUAL, AND ARE TO THE FACE OF STUDS OR TO
FACE OF MASONRY OR CONCRETE. CONTRACTOR TO COORDINATE ACTUAL LAY-OUT IN

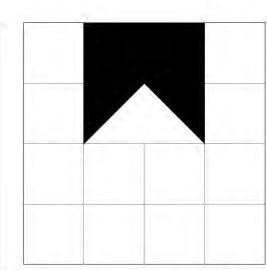
26. AT WOOD STUD EXTERIOR CORNERS (WHERE TWO INSULATED WALLS INTERSECT) - REFER TO DETAIL D4 ON SHEET A101.

27. WHERE INTERIOR PARTITIONS INTERSECT AN EXTERIOR INSULATED WALL, A LADDER T-WALL FRAMED CORNER SHALL BE CONSTRUCTED, REFER TO DETAIL D3 ON SHEET A101.

28. ALL HEADERS SHALL BE INSULATED WITH 1/2" FOAM BETWEEN.

29. THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE BUILDING AND SHOULD VERIFY THE LOCATIONS OF UTILITIES SUCH AS GAS, WATER, AND ELECTRIC WHICH MAY BE CONCEALED BEFORE PROCEEDING WITH THE WORK.

30. ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE ANY WORK. THIS INCLUDES SANITARY LINES, DRAIN FIELD (IF ANY). POWER LINE, TELEPHONE AND CABLE LINES, IRRIGATION LINES AND SPRINKLER HEADS. CONTACT " MISS UTILITY " BY DIALING 811 OR OTHER UTILITY AGENCIES AS APPROPRIATE.



DAVID R. WINN, LLC residential design

10132 BERRYMEADE PLACE GLEN ALLEN, VIRGINIA 23060 (804) 252-0948

> family residence AVENUE

01.30.20 PERMIT SET
mark date description

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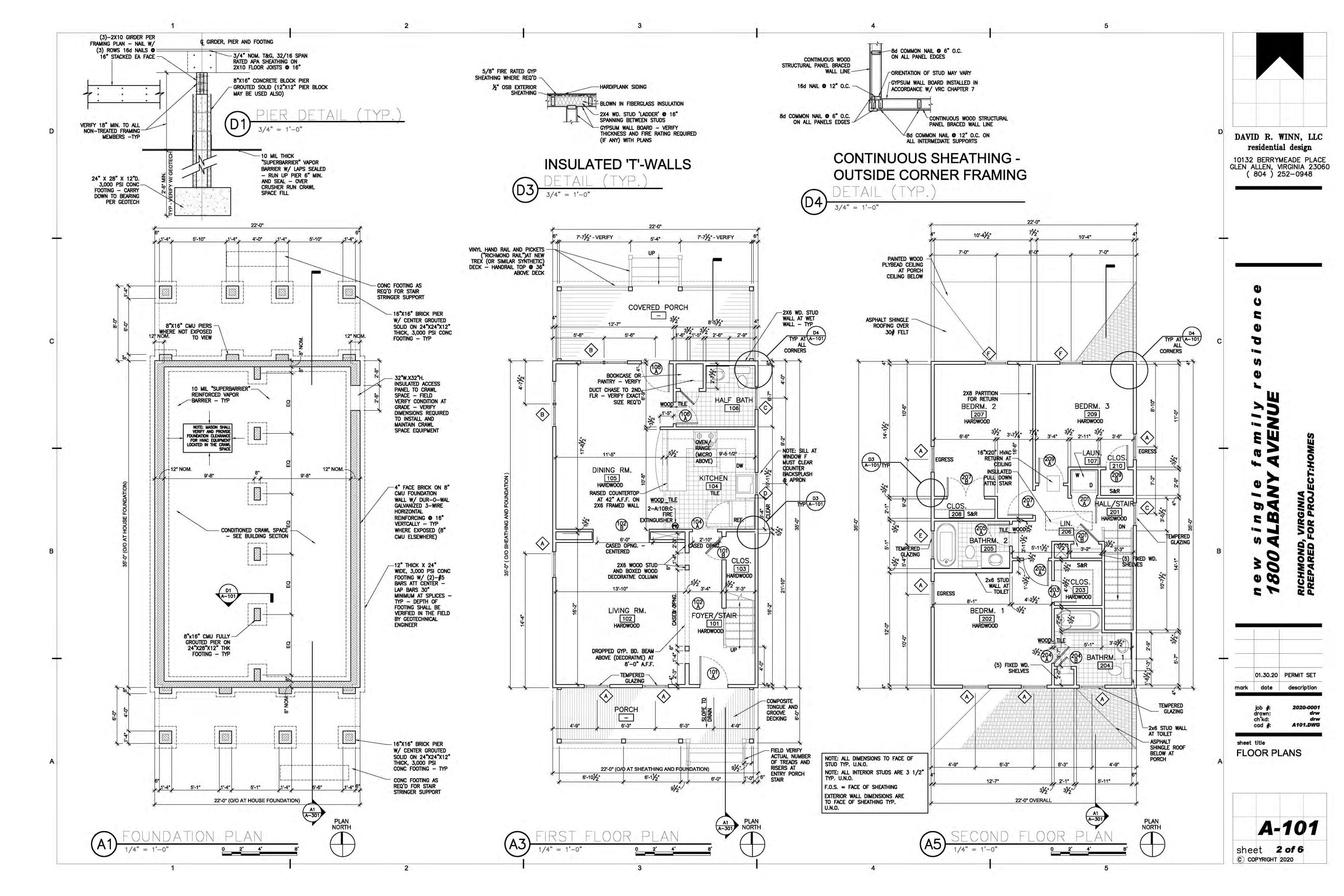
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sheet title

COVER SHEET / BUILDING DATA / SITE PLAN

A-001

sheet 1 of 6 © COPYRIGHT 2020



THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE FOUNDED ON NATURAL, UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL HAVING A SAFE ALLOWABLE BEARING PRESSURE OF 2000 PSF. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THIS VALUE VERIFIED BY COMPETENT GEOTECHNICAL PERSONNEL.

DESIGN CODES: 2015 VIRGINIA RESIDENTIAL CODE

ALL FOUNDATION AND FOOTING WORK SHALL BE PERFORMED TO COMPLY WITH CHAPTER 4 OF 2015 VIRGINIA RESIDENTIAL CODE.

FOUNDATION WALL SHALL BE 4" FACE BRICK ON 8" CMU BACKUP MASONRY WALL WITH FULLY MORTARED OR GROUTED COLLAR JOINT AS NOTED. INSTALL SOLID CMU BLOCK UNITS AT ALL BEARING POINTS WITHIN WALLS AND AT INSIDE CORNERS. BALANCED EARTH FILL EACH SIDE OF WALL. GROUT CORES OF ALL PIERS SOLID. ALLOW MASONRY TO SET 24 HRS. MIN. BEFORE PLACING GROUT/COREFILL.

ANCHOR BOLTS SHALL BE PLACED WITHIN THE FULLY GROUTED CORE OF THE CMU -NOT THE COLLAR JOINT.

TREAT FOUNDATION SOIL FOR INSECTS AS REQUIRED BY BUILDING CODE, WITH A WARRANTED PROFESSIONAL PEST CONTROL COMPANY, USING TREATMENT PRODUCTS WHICH ARE ENVIRONMENTALLY APPROVED AS SAFE.

PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WOOD USED FOR EXTERIOR WEATHER EXPOSURE (ACQ). TREATMENT SHALL BE ENVIRONMENTALLY APPROVED AS SAFE.

2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY BRACE AND SHORE ALL NEW OR EXISTING CONSTRUCTION TO SAFELY RESIST ALL REASONABLE LOADS TO WHICH THE NEW CONSTRUCTION MAY BE SUBJECTED UNTIL PERMANENT BRACING AND SUPPORT IS IN PLACE.

3. MATERIALS:

- CONCRETE: MINUMUM 28 DAY COMPRESSIVE STRENGTH - 3000 PSI SLUMP OF 2" - 4" MAX. AGGREGATE SIZE = 3/4"

- GROUT/COREFILL: ASTM C476, 9"-11" SLUMP, 3000 PSI MIN. COMPRESSIVE STRENGTH.

- REINFORCING STEEL: BARS - ASTM AGIS, GRADE 60 WUF - ASTM AISS

- CONCRETE MASONRY UNITS: ASTM C90, TYPE N, MIN. COMPRESSIVE

STRENGTH OF 1900 PSI, f'm = 1500 PSI

- FACE BRICK: AS SELECTED BY PROJECT: HOMES.

- ANCHOR BOLTS: ASTM A307 / A36 (MILD STEEL)

- MASONRY MORTAR: ASTM C270, TYPE S.

- STRUCTURAL SAUN LUMBER: 2X6 OR GREATER: * 2 SOUTHERN YELLOW PINE, MC 19

- PLYWOOD AND OSB: APA RATED SHEATHING, 32/16 EXPOSURE 1. ALL EXTERIOR PLYWOOD OR OSB WALL SHEATHING SHALL BE NAILED PER THE REQUIREMENTS FOR BRACED WALL PANELS -METHOD CS-WSP (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) - 8d COMMON NAIL • 6" O.C. ALONG PANEL EDGES AND 12" O.C. AT

- PLATE CONNECTED WOOD TRUSSES: PER LATEST REQUIREMENTS OF THE TRUSS PLATE INSTITUTE (TPI).

INTERMEDIATE STUD SUPPORTS. ALL EDGES BLOCKED.

- LAMINATED VENEER LUMBER (LYL): AS MANUFACTURED BY WEYERHAUSER

HAVING THE FOLLOWING MINIMUM PRPOERTIES: E=1.9ES PSI, Fb=2600 PSI, Fvh= 285 PSI, Fc=750 PSI

4. FOR ALL CONCRETE WORK: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 318 AND ACI 301, CODE-CURRENT EDITIONS

5. FOR ALL STRUCTURAL MASONRY CONSTRUCTION: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 530.1, CODE-CURRENT EDITION.

6. DESIGN LOADS

GROUND SNOW LOAD: 20 PSF MIN. ROOF LIVE LOAD: 20 PSF WIND SPEED / EXPOSURE: Yult = 115 MPH, Yand = 89 MPH / EXPOSURE B FLOOR SYSTEM DESIGN IS BASED ON RESIDENTIAL LIVING AREA LIVE LOAD = 40 PSF LOADING CONDITION MINIMUM, WITH LL/DEFLECTION = L/360 MAXIMUM

1. PROVIDE FULL STUD SUPPORT UNDER BEARING SURFACES OF ROOF RAFTERS. DOUBLE STUDS AT ALL WINDOW AND DOOR LINTELS.

VERIFY ALL FLOOR, JOIST AND RAFTER BEARING ELEVATIONS W/ OWNER IN THE

9. PROVIDE AND INSTALL HURRICANE TIES AS MANUFACTURED BY "SIMPSON STRONG TIE" AT ROOF RAFTER BEARINGS.

10. PROVIDE WOOD LINTELS AT ALL WOOD FRAMED WINDOW AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS.

DAVID R. WINN, LLC residential design

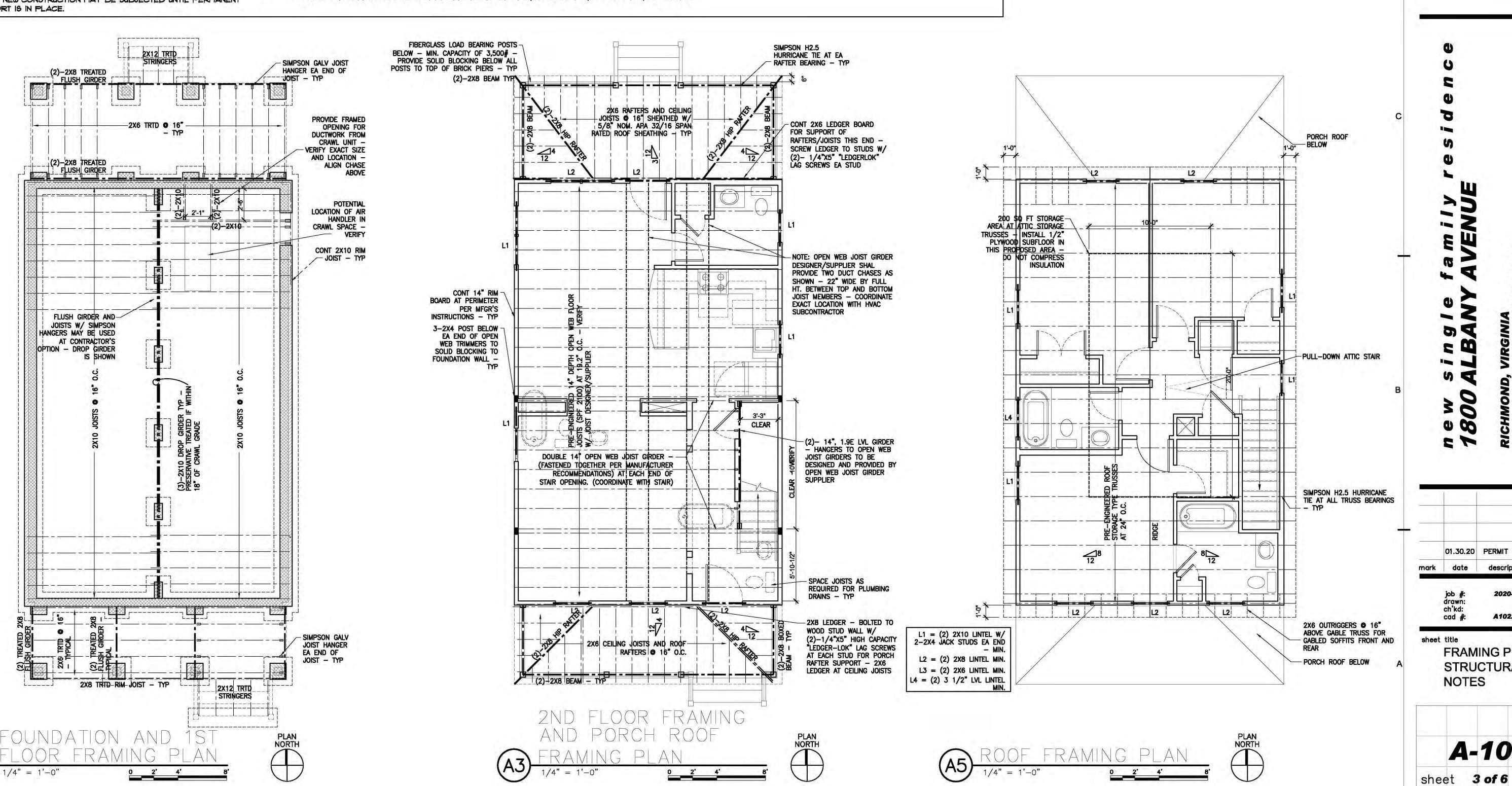
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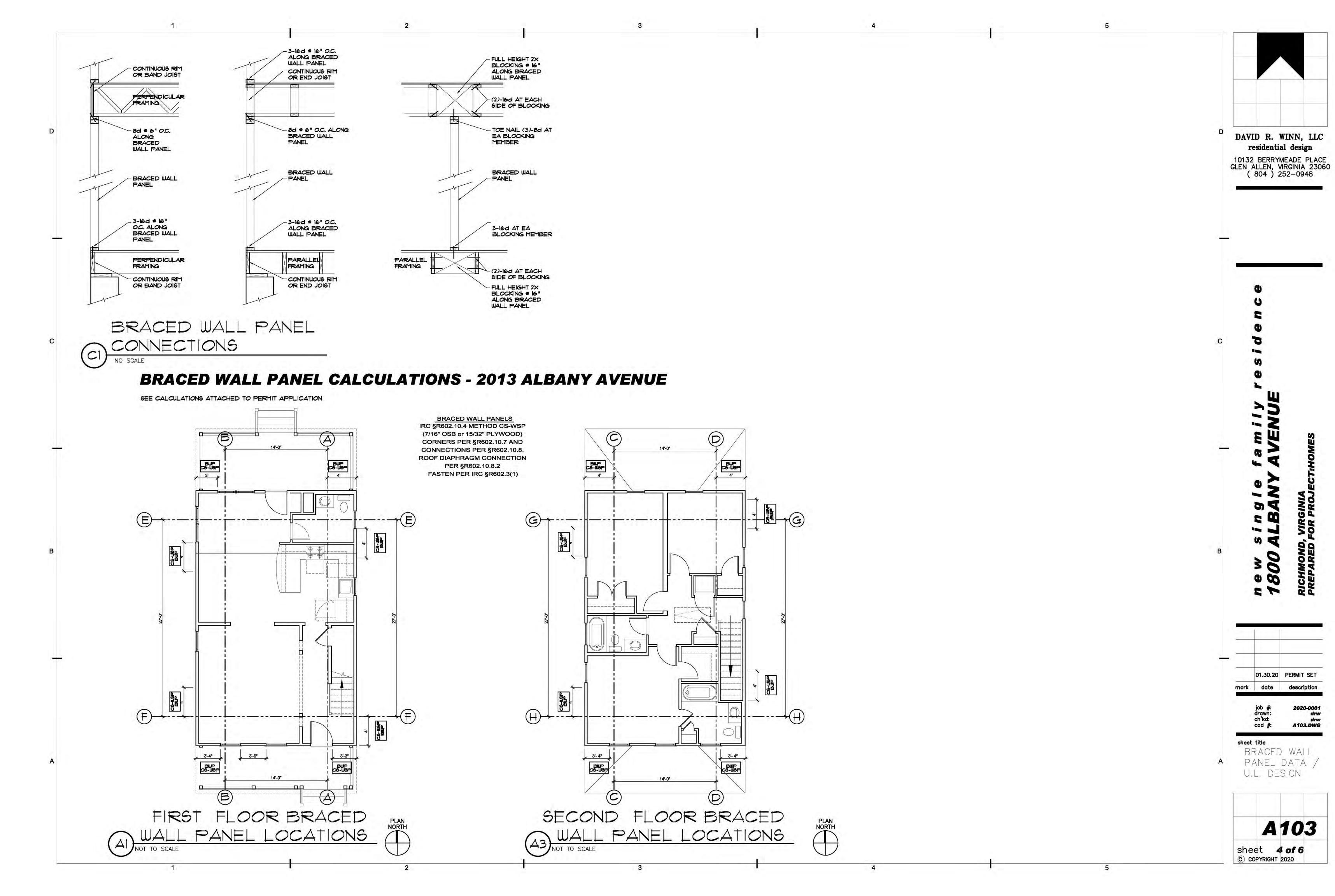
30 01.30.20 PERMIT SET mark date description drawn: ch'kd: cad #: sheet title FRAMING PLANS STRUCTURAL **NOTES**

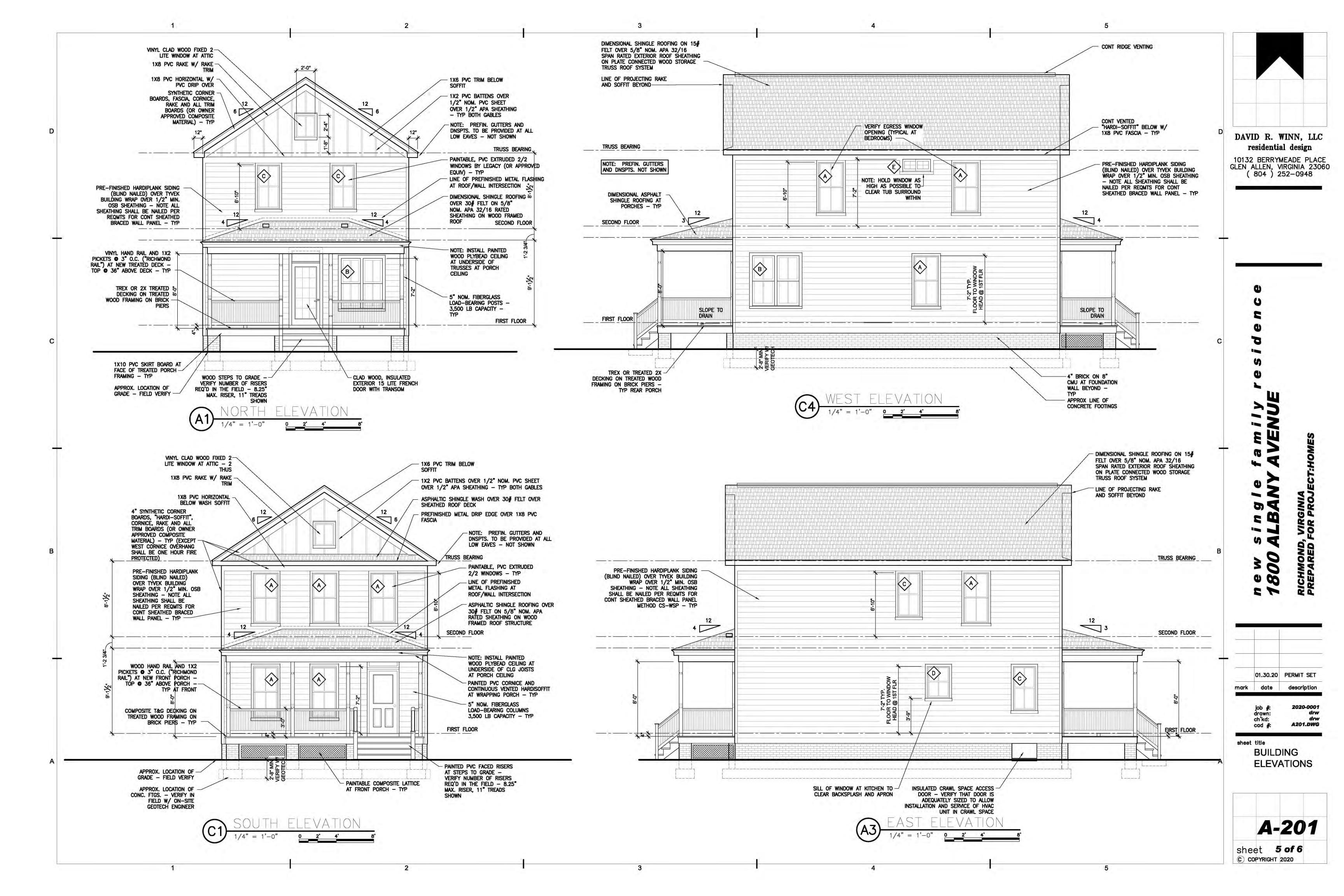
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WINDOW			DOOF		FRAME		HA	ARDWARE	201A O 201B	2'-8"		OOD 6PAN'L OMP. 6PAN'L		1/2"		-		LAUNDRY LINEN CLOSE	
SIZE (ROUGH OPENING) CONTRACTOR TO VERIFY	DETAIL NOTES		SIZE			DETAIL	FIRE RATING SET	1.2.2.2	O 202A		'-8" 1-3/8" C	C Local Date of the Australia		1/2"				BEDROOM	
MATL TYPE	EAD JAMB SILL	MARK —	WD HGT 1	THK MATL TYPE MATL	_ TYPE DEPTH HEAD	AD JAMB THRS	The second secon	RM NO	203A		'-8" 1-3/8" C			1/2"		· 102		CLOSET	
9 2'-8" X 5'-2" 34" 65.25" VERIFY WOOD DBL HUNG	INSULATED - LOW 'E' ARGON FILLED MUST MEET EGRESS REQUIREMENT	101A	3'-0" 6'-8" 1	1-3/4" METAL 1/2 GLASS WD	4 1/2"	ALUM	Л	EXT MAIN ENTRY - 1/2 GLASS OVER 2 RAISED PANELS		2'-4"	'-8" 1-3/8" C	OMP. 6PAN'L	WD	1/2"			-1-4	MASTER BATH	
PR 2'-4" X 5'-2" 59.625" 65.25" VERIFY VINYL CLAD TWIN DBL HUNG	INSULATED - LOW 'E' ARGON FILLED	O 101B		1-3/8" COMP. 6PAN'L WD	6 1/2"			VERIFY UPPER RT. CORNI TRIM TO FIT AT STRINGE	204A 204B	1'-6"	'-8" 1-3/8" C	OMP, 6PAN'L	WD	1/2"		· 1		LINEN CLOSET	
2'-4" X 4'-6" 30" 57.25" VERIFY WOOD DBL HUNG	INSULATED - LOW 'E' ARGON FILLED SAFETY GLAZING - BATH/STAIR	O 102A	8'-2" 6'-8"	- CASED OPNG. WD	6 1/2"	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1		CASED OPENING	O 205A	2'-4"	'-8" 1-3/8" C	OMP. 3PAN'L	WD	1/2"		en Il-		HALL BATH	
1 2'-4" X 3'-2" 30" 41.25" VERIFY VINYL CLAD WOOD DBL HUNG	INSULATED - LOW 'E' ARGON FILLED SILL TO CLEAR BACKSPLASH/APRON INSULATED - LOW 'E' ARGON FILLED MUST MEET SAFETY GLASS REQUIREN	102B	6'-0" 6'-8"	- CASED OPNG. WD	6 1/2"			CASED OPENING	リリック 207A	2'-8"	'-8" 1-3/8" C	OMP. 6PAN'L	WD	1/2"		· 4	7	BEDROOM 2	DAVID D WINI
1 3'-0" X 1'-6" VERIFY VERIFY VERIFY WOOD SLIDER	INSULATED - LOW 'E' ARGON FILLED MUST MEET SAFETY GLASS REQUIRE!	MT	2'-10" 6'-8"	- CASED OPNG. WD	6 1/2"	and the second		CASED OPENING	207B	PR 2'-0"	'-8" 1-3/8" C	OMP. 3PAN'L	WD	1/2"		h jo		CLOSET	DAVID R. WINI residential de
		106A 108A		1-3/8" COMP. 6PAN'L WD				HALF BATH	209A	2'-8"	'-8" 1-3/8" C	OMP. 6PAN'L	WD	1/2"		- 16		BEDROOM 3	
NOTES:		108A	3'-0" 6'-8" 1	1-3/4" WOOD GLASS WD	4 1/2"	ALUM	4 EXT	TEMPERED INSULATED (LOW E-ARGO FULL LITE WITH MUNTINS BETWEE	EN 210A	2'-4"	1-8" 1-3/8" C	OMP. 6PAN'L	WD	1/2"		-		CLOSET	10132 BERRYMEAD GLEN ALLEN, VIRGII (804) 252-
L WINDOW UNITS SHALL BE PROVIDED WITH INSECT SCREENS					dra di di			1		4	The state	-4	4			-			
THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON LEGACY, VINYL SASH, CLAD FRAME "DOUBLE HUNG SERIES 180", SIMULATED 2/2 D TILT SASH UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS	VINDOWS. SEE PLANS. DUBLE HUNG WINDOW PRODUCT -				OR ADA COMPLIANT														
THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON LEGACY, VINYL SASH, CLAD FRAME "DOUBLE HUNG SERIES 180", SIMULATED 2/2 DITLET SASH UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS MOUNTED INBOARD AND OUTBOARD OF THE INSULATED GLASS UNIT.	OUBLE HUNG WINDOW PRODUCT -		TRUSS SU				SEE ELEVATIONS	S FOR POWERED ATTIC	286.0	OUTERICOFE AR	VE CARIF—			FOREG LINE	NE OF GABLED R GROUND IS SHOW VC RAKE BOARD	'N WITH DASI	E SHED		•
THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON EGACY, VINYL SASH, CLAD FRAME "DOUBLE HUNG SERIES 180", SIMULATED 2/2 D TILT SASH UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS	OUBLE HUNG WINDOW PRODUCT -		TRUSS SU ATTIC PULL	UPPLIER SHALL VERIFY LOCA L-DOWN STAIR AND DESIGN TO ACCOMODATE 24" WIL	ATION FOR—\		SEE ELEVATIONS VENTILATION MO	S FOR POWERED ATTIC OUNTED ON THE ROOF	2X6 O TRUSS	OUTRIGGER AB S AT BOTH G	VE GABLE— BLE ENDS		-0" y	FOREG LINE 1X8 P PVC F	NE OF GABLED R GROUND IS SHOW PVC RAKE BOARD RAKE MOLDING VENTED HARDISO	(N WITH DASI	E SHED		- O C C
HE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON EGACY, VINYL SASH, CLAD FRAME "DOUBLE HUNG SERIES 180", SIMULATED 2/2 EILT SASH UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS OUNTED INBOARD AND OUTBOARD OF THE INSULATED GLASS UNIT. ASPHALT SHINGLE ROOFING OVER 15# FELT OVER 5/8" NOM. APA 32/16 SPAN RATED ROOF SHEATHING ON PREFABRICATED PLATE CONNECTED ROOF TRUSSES INSTALL 2X HORIZ. BLOCKING AT	DUBLE HUNG WINDOW PRODUCT -		TRUSS SL ATTIC PULL	UPPLIER SHALL VERIFY LOCA L—DOWN STAIR AND DESIGN	ATION FOR—\	N N N N N N N N N N N N N N N N N N N	SABLED ROOF STORA	AGE AGE	M D	1X8 PVC TO SOFF	M BELOW —		-0"	FOREG LINE 1X8 P PVC R CONT TYP	PROUND IS SHOW PVC RAKE BOARD RAKE MOLDING VENTED HARDISO	(n with dasi	SHED		dence
FHE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON EGACY, VINYL SASH, CLAD FRAME "DOUBLE HUNG SERIES 180", SIMULATED 2/2 EVALUATED UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS MOUNTED INBOARD AND OUTBOARD OF THE INSULATED GLASS UNIT. ASPHALT SHINGLE ROOFING OVER 15# FELTOVER 5/8" NOM. APA 32/16 SPAN RATED ROOF SHEATHING ON PREFABRICATED PLATE CONNECTED ROOF TRUSSES	DUBLE HUNG WINDOW PRODUCT -	R-38 BLOWN-I	-IN	UPPLIER SHALL VERIFY LOCA L—DOWN STAIR AND DESIGN	ATION FOR—\		M	AGE D.C.		1X8 PVC TO SOFF FLASHING AT ROOF CO	M BELOW — TYP WALL AND — NNECTION NLER FOR —		12	FOREGUINE 1X8 P PVC F CONT TYP 1X2 S SYNTH DESIRI	PYC RAKE BOARD RAKE MOLDING VENTED HARDISC SYNTHETIC BATTEN JETIC BOARD — F ED SPACING OF	N WITH DASI W/ DFFIT — NS OVER 1/2 FIELD VERIFY BATTENS	SHED /2* Y		sidence
ASPHALT SHINGLE ROOFING OVER 15# FELT OVER 5/8" NOM. APA 32/16 SPAN RATED ROOF SHEATHING ON PREFABRICATED PLATE CONNECTED ROOF TRUSSES INSTALL 2X HORIZ. BLOCKING AT GABLE TRUSS AS REQ'D FOR SUPPORT	DUBLE HUNG WINDOW PRODUCT -	R-38 BLOWN-I CELLULOSE INSULATION TYP	-IN	UPPLIER SHALL VERIFY LOCA L—DOWN STAIR AND DESIGN	ATION FOR—\		SABLED ROOF STORA	AGE AGE		1X8 PVC TO SOFF FLASHING AT ROOF CO	M BELOW — TS — TYP WALL AND — NNECTION		12	FOREGUINE 1X8 P PVC F CONT TYP 1X2 S SYNTH DESIRI	EROUND IS SHOWN PVC RAKE BOARD RAKE MOLDING VENTED HARDISO SYNTHETIC BATTEN IETIC BOARD — F ED SPACING OF ALTIC SHINGLE WA OVER PLYWOOD S RS © 16"	N WITH DASI W/ DFFIT — NS OVER 1/2 FIELD VERIFY BATTENS	/2" Y 15# 2x6		residence
THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON EGACY, VINYL SASH, CLAD FRAME "DOUBLE HUNG SERIES 180", SIMULATED 2/2 IILT SASH UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS HOUNTED INBOARD AND OUTBOARD OF THE INSULATED GLASS UNIT. ASPHALT SHINGLE ROOFING OVER 15# FELTOVER 5/8" NOM. APA 32/16 SPAN RATED ROOF SHEATHING ON PREFABRICATED PLATE CONNECTED ROOF TRUSSES INSTALL 2X HORIZ. BLOCKING AT GABLE TRUSS AS REQ'D FOR SUPPORT OF BOARD AND BATTEN CONT VENTED "HARDI-SOFFIT" - TYP (EXCEPT WEST SIDEWALL SOFFIT) PVC 1X8 W/ PVC DRIP	DUBLE HUNG WINDOW PRODUCT -	R-38 BLOWN-CELLULOSE — INSULATION TYF	-IN	UPPLIER SHALL VERIFY LOCA L—DOWN STAIR AND DESIGN	ATION FOR— I TRUSSES IDTH STAIR	WINDOW BEYOND	SABLED ROOF STORA	AGE D.C.		1X8 PVC TO SOFF FLASHING AT ROOF CO	M BELOW — TYP WALL AND — NNECTION NLER FOR —		12 4	FOREGLINE 1X8 P PVC F CONT TYP 1X2 S SYNTH DESIRI ASPHA FELT (RAFTEI	EROUND IS SHOWN PVC RAKE BOARD RAKE MOLDING VENTED HARDISO SYNTHETIC BATTEN IETIC BOARD — F ED SPACING OF ALTIC SHINGLE WA OVER PLYWOOD S RS 16" TRUS	W/ OFFIT — NS OVER 1/2 FIELD VERIFY BATTENS ASH OVER 1! SHEATHED 2) SS BEARING	/2" Y 15# 2x6		V residence
INSTALL 2X HORIZ. BLOCKING AT GABLE TRUSS AS REQ'D FOR SUPPORT GABLE TRUSS AS REQ'D FOR SUPPORT OF BOARD AND BATTEN OUNTED INSTALL 2X HORIZ. BLOCKING AT GABLE TRUSS AS REQ'D FOR SUPPORT OF BOARD AND BATTEN CONT VENTED "HARDI—SOFFIT" - TYP (EXCEPT WEST)	DUBLE HUNG WINDOW PRODUCT -	WINI (VERIFY	NDOW BEYOND FY EGRESS AT	UPPLIER SHALL VERIFY LOCA L—DOWN STAIR AND DESIGN	ATION FOR— I TRUSSES IDTH STAIR		SABLED ROOF STORA	AGE D.C.		1X8 PVC TO SOFF FLASHING AT ROOF CO	M BELOW — TYP WALL AND — NNECTION NLER FOR —		12 4	FOREGUINE 1X8 P PVC F CONT TYP 1X2 S SYNTH DESIRI ASPHA FELT (RAFTEI CONT (EXCE FIRE F	EROUND IS SHOWN PVC RAKE BOARD RAKE MOLDING VENTED HARDISO SYNTHETIC BATTEN IETIC BOARD — F ED SPACING OF ALTIC SHINGLE WA OVER PLYWOOD S RS © 16"	W/ DFFIT - NS OVER 1/2 FIELD VERIFY BATTENS ASH OVER 1: SHEATHED 2) SS BEARING DFFIT 5/8* AS	/2" Y 15# 2x6		ily residence NUE
THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON LEGACY, VINYL SASH, CLAD FRAME "DOUBLE HUNG SERIES 180", SIMULATED 2/2 E TILT SASH UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS MOUNTED INBOARD AND OUTBOARD OF THE INSULATED GLASS UNIT. ASPHALT SHINGLE ROOFING OVER 15# FELT OVER 5/8" NOM. APA 32/16 SPAN RATED ROOF SHEATHING ON PREFABRICATED PLATE CONNECTED ROOF TRUSSES INSTALL 2X HORIZ. BLOCKING AT GABLE TRUSS AS REQ'D FOR SUPPORT OF BOARD AND BATTEN CONT VENTED "HARDI—SOFFIT" - TYP (EXCEPT WEST SIDEWALL SOFFIT) PVC 1X8 W/ PVC DRIP OVER RABBET BOTTOM EDGE OF PVC 1X8 TO LAP OVER TOP OF HIGHEST	DUBLE HUNG WINDOW PRODUCT -	WINE (VERIFY BEDROC	-IN YP. NDOW BEYOND	UPPLIER SHALL VERIFY LOCA L—DOWN STAIR AND DESIGN	ATION FOR— I TRUSSES IDTH STAIR	WINDOW BEYOND	SABLED ROOF STORA	AGE D.C.		1X8 PVC TO SOFF FLASHING AT ROOF CONT 2X6 MWAS	M BELOW — TYP WALL AND — NNECTION NLER FOR —		12 4	FOREGUINE 1X8 P PVC F CONT TYP 1X2 S SYNTH DESIRI ASPHA FELT (RAFTEI CONT (EXCE FIRE F HARDIS	PVC RAKE BOARD RAKE MOLDING VENTED HARDISO SYNTHETIC BATTEN ETIC BOARD — F ED SPACING OF ALTIC SHINGLE WA OVER PLYWOOD S RS 16" TRUS VENTED HARDISO PT WEST SOFFIT RATED DRYWALL A SOFFIT UNDERLAY DOUBLE HUNG NO DW E INSULATED	W/ OFFIT - NS OVER 1/2 FIELD VERIFY BATTENS ASH OVER 1: SHEATHED 2) SS BEARING OFFIT 5/8* AS (MENT)	/2" Y 15# 2x6		- 5

1 1/2" +/-

HALL/STAIR

15 TREADS @ 10

BEHIND SHOWN WITH

HARDWOOD FLOORING

DASHED LINE

OUTLINE OF UNDER STAIR -CLOSET DOOR AND WALL

UNDER STAIR

APPROX. LOCATION OF

GRADE AT CRAWL SPACE
- FIELD VERIFY

CLOSET

WITH TYVEK BUILDING WRAP

PRE-FINISHED HARDIPLANK

2X6 CLC JOISTS • 16" W/ GALV JOIST HANGER ONE END

WOOD PLYBEAD CEILING -

ENGAGED VINYL -

TREX OR 2X TREATED -

WRAP AROUND PORCH

DECK BOARDS - TYP AT

COLUMN

14" OPEN WEB TRUSSES

(ALL WINDOWS IN BATHS TO_

HAVE TEMPERED GLAZING)

HALF-BATH

AT 19.2" O.C.

2X10 FLOOR JOISTS 0

16" O.C.

NOTE: CENTER GIRDER

VERIFY AND PROVIDE FOUNDATION CLEARANCE FOR HVAC EQUIPMENT LOCATED IN THE CRAW

SHALL BE PRESERVATIVE

TREATED IF WITHIN 18"

OF CRAWL SPACE GRADE NOTE: MASON SHALL

WINDOW BEYOND -

PREFINISHED METAL FLASHING AT

2x6 LEDGER WITH (2) 16d NAILS EACH STUD. -

ASPHALT SHINGLE ROOFING OVER 30# FELT OVER - 5/8" NOM. APA 32/16 SPAN RATED ROOF SHEATHING ON 2X6 RAFTERS © 16" - TYP

SIMPSON H2.5

RAFTER BEARING

(4) 16d NAILS EA. LAP.

HURRICANE TIE AT EACH

POST CAP TO BEAM

MFGR - TYP

CAPACITY - TYP.

AND STEPS - TYP.

CONT VENTED "HARDI-SOFFIT"-

CONNECTOR BY VINYL POST

FIBERGLASS LOAD BEARING

PORCH POSTS - 3,500 LB.

VINYL "RICHMOND RAIL" BEYOND AT END OF PORCH

FIBERGLASS POST MFGR -

FIELD VERIFY NUMBER OF

PROVIDED POST BASE

CONNECTOR - TYP

TREADS AND RISERS -

WALL AND ROOF CONNECTION

CONT 2X6 LEDGER BOARDS FOR SUPPORT -

OF RAFTER AND CLG JOISTS THIS END -

SCREW LEDGER TO STUDS W/ (2)-

1/4"X5" "LEDGERLOK" LAG SCREWS EA STUD - TYP AT FRONT ALSO

FROM HOUSE

CMU PIERS AND -

FOOTINGS BEYOND

DRAIN PORCH SURFACE AWAY

(TYPICAL)

BEDROOM 3

- 3/4" NOM. APA T&G SHEATHING GLUE AND SCREW - TYP

INSTALLER

WINDOW BEYOND -

KITCHEN CABINETS -

KITCHEN

3/4" NOM. APA 24/16 T&G SHEATHING, GLUE

CONDITIONED CRAWLSPACE

WALLS)

(WITH SEALED AND INSULATED

AND SCREW - TYP

COORDINATE WITH CABINET

SA RICHMOND, PREPARED F 30

INSULATION (R15 MIN.) - TYP 🔀

ASPHALT SHINGLE ROOFING OVER 30# FELT OVER 2X6 RAFTERS AND CEILING JOISTS @ 16" SHEATHED W/ 5/8" NOM. APA 32/16 SPAN RATED ROOF SHEATHING — TYP

SECOND FLOOR

FIRST FLOOR

SIMPSON H2.5 HURRICANE TIE AT EA RAFTER AND TRUSS BEARING — TYP

CONT VENTED

"HARDI-SOFFIT" - TYP

WOOD BEAMS WRAPPED IN

1X PAINTED WOOD - TYP

- PAINTED WOOD "RICHMOND

AROUND ENTIRE PORCH

CAPACITY - TYP.

- COMPOSITE T&G PORCH

DECKING - SLOPE TO DRAIN

PAINTED WOOD TREADS AND

RISERS ON TREATED WOOD A STRUCTURE - TYP FRONT A

PVC OR WOOD FACED

AND REAR

RAIL" AT SIDE OF PORCH BEYOND — TYP PORCH RAIL

FIBERGLASS LOAD BEARING

PORCH POSTS - 3,500 LB.

FLASHING AT WALL AND ROOF

CONNECTION

WOOD PLYBEAD CEILING -

- FLASH UNDER SIDING

PROTECT RIM BOARD FROM WATER DAMAGE

2X6 TRTD JOISTS 162 BETWEEN DBL 2X8 GIRDERS W/ GALV JOIST

- CMU PIERS AND FOOTINGS

HANGER EA END

BEYOND

OR DOOR SILL TO

SLOPE TO DRAIN

R-15 BATT INSULATION AT -

IS IMPRACTICAL - TYP

4'-0"

JOIST SPACE IF SPRAY FOAM

SIMILAR TO WALL INSULATION

FOYER/STAIR

INSULATE AT RIM JOIST W/ R15 BATT REMOVABLE FOR

TERMITE INSPECTION - TYP

BOLTS AT L6'-0" O.C. MAX. - 36"

MAK. FROM CORNERS

2XB TREATED SILL PLATE W/ SILL SEALER -TYP AT PERIMETER

-10 MIL "SUPERBARRIER"

VAPOR BARRIER

2" (R10) RIGID INSULATION EXTENDING TO

TOP/FOOTING IF 24" BELOW GRADE OR MORE -

JOINTS TAPED AND SEALED - PROVIDE 2" TERMITE INSPECTION GAP AT SILL PLATE PER CODE

01.30.20 PERMIT SET description mark date

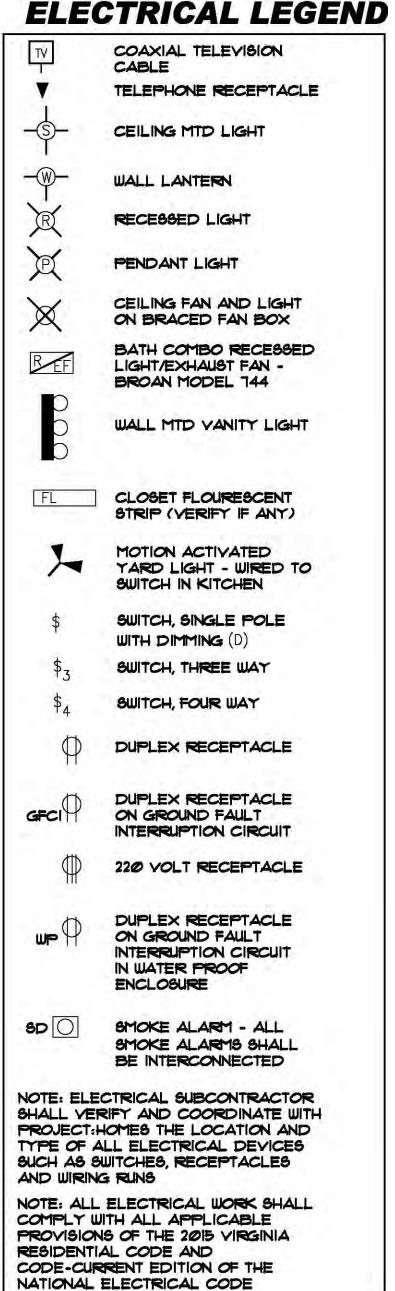
2020-0001 drawn: ch'kd: cad #: A301.DWG

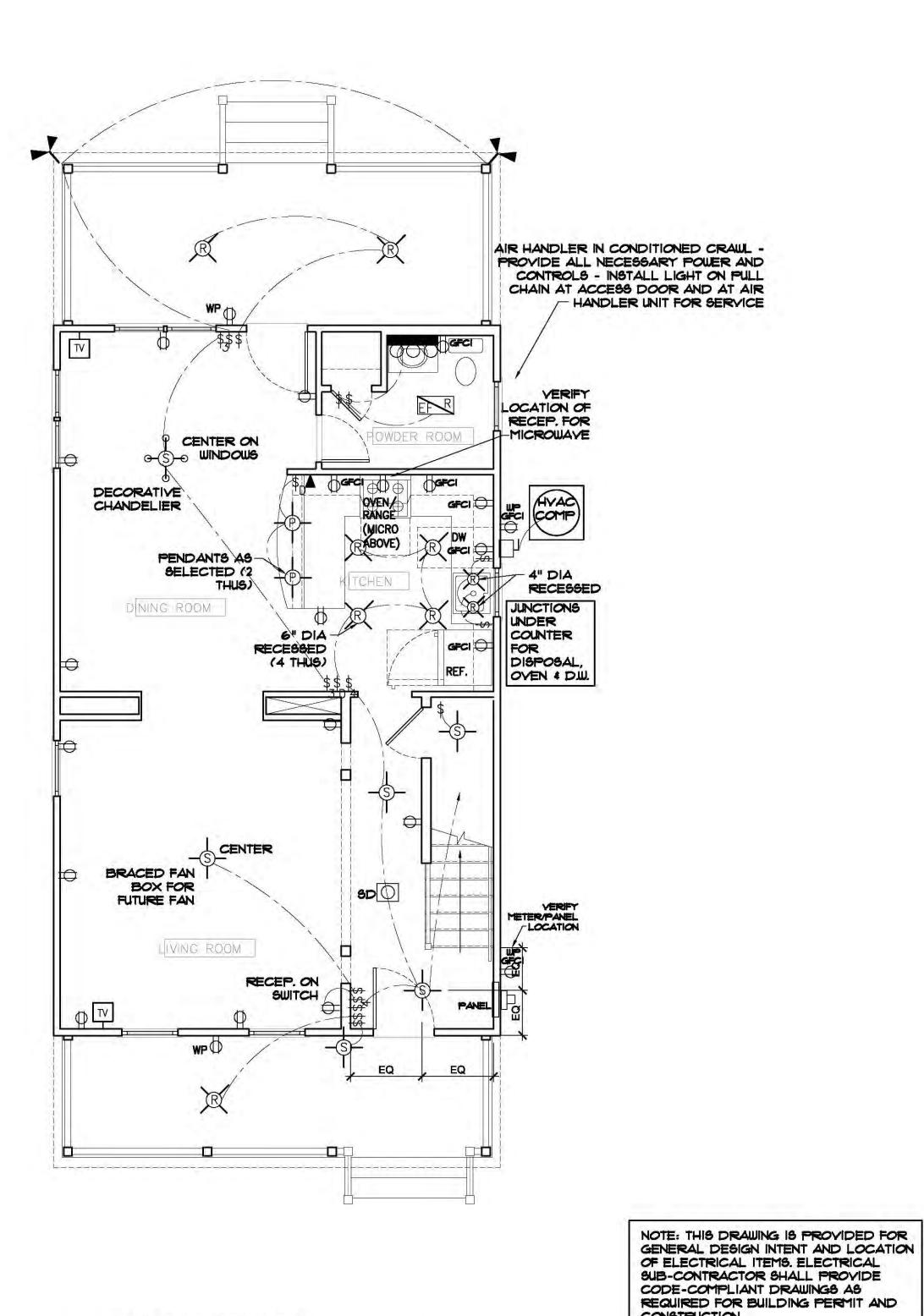
sheet title **BUILDING SECTION** AND SCHEDULES

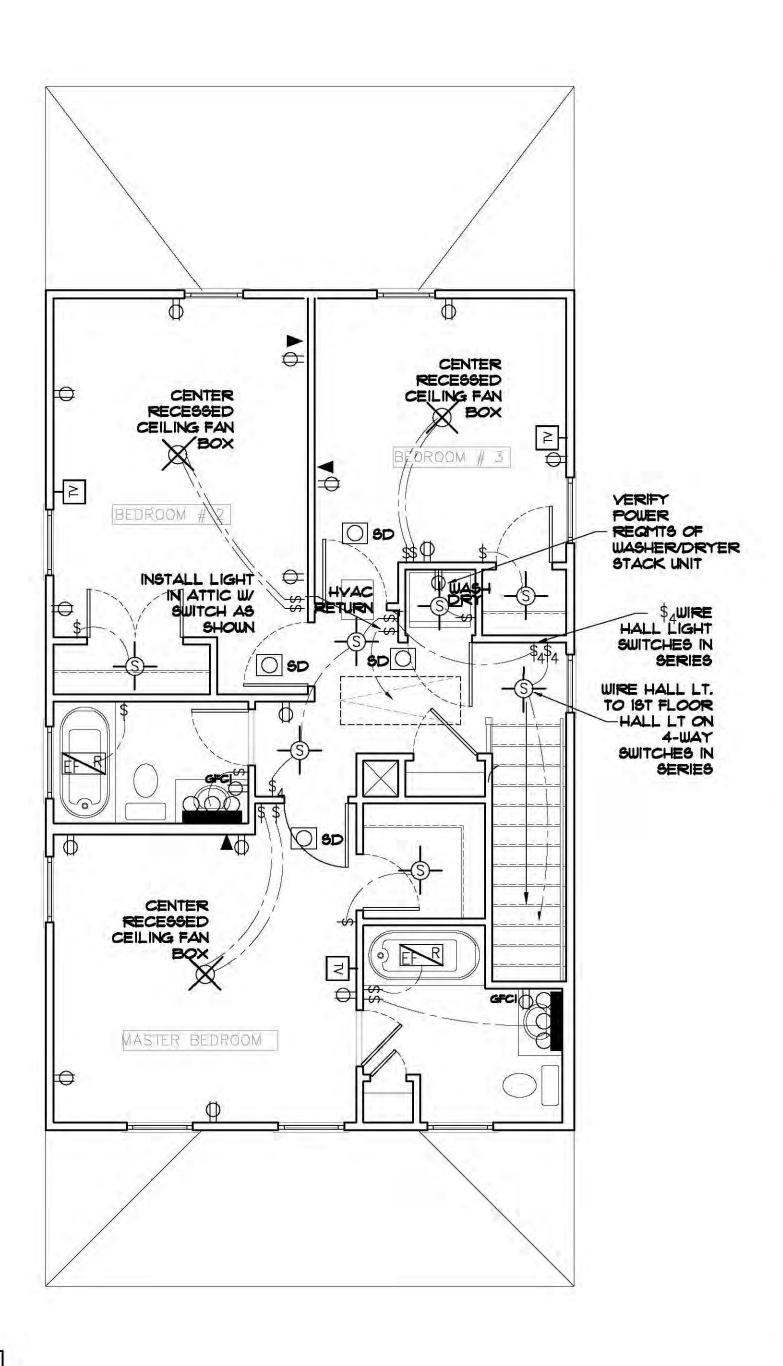
A301

sheet 6 of 6 C COPYRIGHT 2020

ELECTRICAL LEGEND







DAVID R. WINN, LLC residential design

10132 BERRYMEADE PLACE GLEN ALLEN, VIRGINIA 23060 (804) 252-0948

30

01.30.20 PERMIT SET mark date description

RICHMOND, PREPARED

2020-0001 drawn: ch'kd: E101.DWG cad #:

sheet title ELECTRICAL **POWER AND** LIGHTING **PLANS**

E-101

sheet 1 of 1 C COPYRIGHT 2020

PLAN NORTH

PLAN NORTH

CONSTRUCTION.



Proposed Development Budget 1800 Albany Avenue Richmond, VA 23234

Development Cost:

Permits/Predevelopment	\$ 3,000.00
Water/Sewer Connections	12,000.00
Construction Cost	189,577.00
Total Construction Cost:	204,577.00
Closing Costs	1,200.00
Financing Costs	1,200.00
Utilities	500.00
Taxes	600.00
Developer Fee:	20,000.00
Total Development Cost:	\$228,077.00

Development Revenue:

Total Revenue from Sale:	\$ 228,078.00
Less 5% Realtor Commissions	- 9,373.00
Blackwell Affordable Homeownership Grant	50,000.00
Sales Price of land to CLT:	1.00
Sales Price of home to CLT Buyer:	\$ 187,450.00

	1	1 1		1	1	1		I 61	Т
Address	Municipality	Zipcode	Type	Fiscal Year	% AMI		DOT	CLT	
2903 Falling Creek Avenue	Chesterfield	23234	Renovation	1999-2000	60-80	\$120,000.00		w	
522 Vaden Drive	Richmond	23225	Renovation	1999-2000	60-80	\$120,000.00		b	
12654 Staffordshire Road	Midlothian	23113	Renovation	1999-2000	60-80	\$120,000.00		b	
1417 Green Pasture Road	Henrico	23150	Renovation	1999-2000	60-80	\$120,000.00		b	
1811 North Junaluska Drive	Richmond	23225	Renovation	1999-2000	60-80	\$120,000.00		w	
3800 Sunora Drive	Chesterfield	23234	Renovation	2000-2001	60-80	\$120,000.00		b	
3016 Hey Road	Richmond	23224	Renovation	2000-2001	60-80	\$120,000.00		w	
7426 Sandlewood Drive	Chesterfield	23235	Renovation	2000-2001	60-80	\$125,000.00		b	
9811 Kingussle Lane	Chesterfield	23236	Renovation	2000-2001	60-80	\$130,000.00		b	
3106 Zion Street	Chesterfield	23234	Renovation	2000-2001	60-80	\$120,000.00		b	
124 Wentachee Road	Chesterfield	23236	Renovation	2000-2001	60-80	\$120,000.00		b	
117 North Arch Road	Chesterfield	23236	Renovation	2001-2002	60-80	\$120,000.00		w	
801 West 49th Street	Richmond	23225	Renovation	2001-2002	50-60	\$90,000.00		w	
1104 Fourqurean Lane	Richmond	23222	Renovation	2001-2002	60-80	\$90,000.00		b	
2347 Stratford Road	Richmond	23225	Renovation	2001-2002	60-80	\$120,000.00		b	
1622 Limerick Drive	Richmond	23225	Renovation	2001-2002	60-80	\$120,000.00		W	
3861 Fauquier Avenue	Richmond	23227	Renovation	2001-2002	60-80	\$140,000.00		w	
3100 South Battlebridge Drive	Henrico	23224	Renovation	2002-2003	60-80	\$120,000.00		b	
2508 Haviland Drive	Richmond	23229	Renovation	2002-2003	60-80	\$120,000.00		b	
617 Forkland Drive 7001 Miami Avenue	Chesterfield Henrico	23235 23226	Renovation	2002-2003	60-80 60-80	\$120,000.00		b 	
			Renovation	2002-2003		\$120,000.00 \$120,000.00		w	
2908 Kenwood Avenue 7605 Three Chopt Road	Henrico	23228	Renovation	2002-2003	60-80			w b	
9503 Gardenia Drive	Henrico	23229	Renovation	2003-2004 2003-2004	60-80 60-80	\$135,000.00		b	
7722 Balla Court	Henrico Henrico	23228	Renovation Renovation	2003-2004	60-80	\$130,000.00 \$130,000.00		b	
528 North 1st Street	Richmond	23228	Shell Renovation	2003-2004	60-80	\$130,000.00		w	
518 North 1st Street	Richmond	23219	Shell Renovation	2004-2005	60-80	\$215,000.00		b	
520 North 1st Street	Richmond	23219	Shell Renovation	2004-2005	50-60	\$199,000.00		b	
522 1/2 North 1st Street	Richmond	23219	Shell Renovation	2005-2006	50-60	\$199,000.00		b	
8313 Vernelle Lane	Henrico	23229	Renovation	2005-2006	60-80	\$120,000.00		b	
8312 Shannon Hill Road	Henrico	23229	Renovation	2005-2006	60-80	\$120,000.00		w	
8511 Middle Loop	Chesterfield	23235	Renovation	2005-2006	60-80	\$120,000.00		b	
1750 West Leigh Street	Richmond	23236	Shell Renovation	2006-2007	60-80	\$225,000.00		b	
1752 West Leigh Street	Richmond	23220	Shell Renovation	2006-2007	60-80	\$225,000.00		b	
2611 Melbourne Drive	Richmond	23225	Renovation	2006-2007	60-80	\$140,000.00		w	
2511 Bells Road	Richmond	23234	Renovation	2007-2008	60-80	\$100,000.00		b	
1583 Mt Vernon Street	Petersburg	23805	Renovation	2007-2008	60-80	\$120,000.00		b	
2005 Mansion Avenue	Richmond	23224	New Construction	2007-2008	50-60	\$85,000.00	DOT	b	
1737 Claiborne Street	Richmond	23220	New Construction	2008-2009	80-100	\$199,000.00		w	
1601 Winder Street	Richmond	23220	New Construction	2008-2009	80-100	\$199,000.00		w	
710 North 1st Street	Richmond	23219	New Construction	2008-2009	80-100	\$210,000.00	DOT	w	
2302 Williamsburg Road	Henrico	23231	Shell Renovation	2008-2009	60-80	\$145,000.00	DOT	b	
210 North Virginia Avenue	Henrico	23223	New Construction	2009-2010	60-80	\$158,000.00	DOT	b	
214 North Virginia Avenue	Henrico	23223	New Construction	2009-2010	60-80	\$158,000.00	DOT	b	
218 North Virginia Avenue	Henrico	23223	New Construction	2009-2010	60-80	\$158,000.00	DOT	w	
1400 Willis Street	Richmond	23224	Shell Renovation	2009-2010	60-80	\$110,000.00	DOT	b	
1315 Willis Street	Richmond	23224	Shell Renovation	2010-2011	60-80	\$110,000.00	DOT	b	
806 North 27th Street	Richmond	23223	Shell Renovation	2010-2011	60-80	\$185,000.00	DOT	w	
808 North 27th Street 810 North 27th Street	Richmond Richmond	23223 23223	New Construction New Construction	2010-2011	60-80	\$185,000.00	DOT DOT	w	
812 North 27th Street	Richmond	23223	New Construction	2010-2011 2010-2011	60-80 60-80	\$185,000.00 \$185,000.00	DOT	w	
814 North 27th Street	Richmond	23223	New Construction	2010-2011	60-80	\$185,000.00	DOT	w	
308 West Leigh Street	Richmond	23219	Shell Renovation	2010-2011	80-100	\$205,000.00	DOT	w	
1213 West Leigh Street	Richmond	23220	Shell Renovation	2011-2012	60-80	\$185,000.00	DOT	w	
1409 Porter Street	Richmond	23224	New Construction	2011-2012	80-100	\$210,000.00	50.	w	
1413 Porter Street	Richmond	23224	New Construction	2011-2012	80-100	\$210,000.00		w	
1740 West Leigh Street	Richmond	23220	Shell Renovation	2011-2012	60-80	\$165,000.00	DOT	w	
3112 Dillyn Court	Henrico	23222	New Construction	2011-2012	60-80	\$140,000.00	DOT	b	
3108 Dillyn Court	Henrico	23222	New Construction	2011-2012	60-80	\$140,000.00	DOT	b	
1432 Minefee Street	Richmond	23224	New Construction	2011-2012	50-60	\$100,000.00	DOT	b	
822 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT	b	
824 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT	w	
826 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT	w	
1203 Willow Street	Richmond	23222	Shell Renovation	2012-2013	50-60	\$85,000.00	DOT	b	
1201 Spruce Street	Richmond	23222	Shell Renovation	2012-2013	60-80	\$85,000.00	DOT	b	
2219 1st Avenue	Richmond	23222	Shell Renovation	2012-2013	60-80	\$79,000.00	DOT	b	
828 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT	w	
830 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT	w	
1201 Willow Street	Richmond	23222	Shell Renovation	2012-2013	60-80	\$85,000.00	DOT	b	
2711 Henrico Drive	Richmond	23222	Renovation	2013-2014	50-60	\$85,000.00		w	
1110 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	50-60	\$99,000.00	DOT	w	
1112 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	80-100	\$99,000.00	DOT	b	
1114 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$99,000.00	DOT	b	
1116 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$99,000.00	DOT	b 	
1118 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	80-100	\$99,000.00	DOT	w	
1120 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$99,000.00	DOT	w	
1122 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$99,000.00	DOT	W	

2 Clusch Road Hemitor 22223 New Construction 2013-2014 60-20 \$14,000.00 071 07	1310 North 27th Street								
2 Crusk Road			23223	Shell Renovation	2013-2014	60-80	\$167,000.00	DOT	
Schuck Road	109 Chuck Road	Henrico	23223	New Construction	2013-2014	60-80	\$140,000.00	DOT	b
Security Company Com	12 Chuck Road	Henrico	23223	New Construction	2013-2014	50-60	\$140,000.00	DOT	b
22 April 2	08 Chuck Road	Henrico	23223	New Construction	2013-2014	60-80	\$140,000.00	DOT	b
22 Sent 22 Sent 22 Sent Richmord 2222 Sent Recompton 2014-2015 69-10 515,000.00 OT We will sent the sent that 2223 Sent Recompton 2014-2015 69-10 515,000.00 OT We will sent the sent that 2223 Sent Recompton 2014-2015 69-10 515,000.00 OT We will sent that	.05 Chuck Road	Henrico	23223	New Construction	2013-2014	60-80		DOT	b
08 North 228h Street Richmord 23223 New Construction 2014-2015 60-80 5155,000.00 COT w C									
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07 Blair Richmond 23221 Shell Renovation 2018-2019 60-80 \$169,000.00 DOT CLT w 04 Eggleston Richmond 23221 Shell Renovation 2018-2019 60-80 \$185,000.00 CLT w 11 Sumpter Richmond 23221 Shell Renovation 2018-2019 60-80 \$167,000.00 CLT w 3 Sumpter Richmond 23221 Shell Renovation 2018-2019 60-80 \$167,000.00 CLT b 23 North 29 th Richmond 23223 New Construction 2018-2019 80-100 \$200,000.00 CLT w	37 North 26th 38 Liegh 39 Liegh 30 Liegh 31 Catherine 32 Catherine 32 Catherine 414 Catherine 414 Catherine 525 Bainbridge 112 Albany 20 Albany 20 Albany 20 Albany 215 North 26th 41 North 26th 42 North 26th 43 North 27th 417 North 29th 418 Sewell 418 Venable 419 Catherine 419 Catherine 410 Catherine 410 Catherine 410 Catherine 411 Catherine 412 Boston 423 Bainbridge 410 Maury 410 Maury 410 Maury 410 Maury 411 Maury 411 Maury 411 Maury	Richmond	23223 23220 23220 23220 23220 23224 23224 23224 23223 23222 23222 23222 23222 23222 23222 23223 23222 23223 23222 23223 23221 23221 23221 23221 23221 23221 23221 23221 23222 23223 23223 23221 23221 23221 23221 23221 23221 23221 23222 23223 23223 23223 23221 23221 23221 23221 23221 23224 23224 23224 23224 23224	New Construction Shell Renovation Shell Renovation New Construction New Construction New Construction Renovation Renovation New Construction Shell Renovation Shell Renovation Shell Renovation New Construction Renovation Renovation Renovation Renovation Renovation Renovation Renovation Renovation	2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2017-2018	60-80 60 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60-80 60 60-80 60 60-80 60 60-80 60 60 60 60 60 60 60 60 60 60 60 60 60	\$170,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$135,000.00 \$140,000.00 \$140,000.00 \$155,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$185,000.00	DOT	w w w w b w b w b w b w b w w w w w mr mr b w w
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33 Sumpter Richmond 23221 Shell Renovation 2018-2019 60-80 \$167,000.00 CLT b 123 North 29 th Richmond 23223 New Construction 2018-2019 80-100 \$200,000.00 CLT w	337 North 26th 103 Liegh 107 Leigh 118 Catherine 118 Catherine 110 Catherine 1114 Catherine 110 Catherine 1114 Catherine 1128 Bainbridge 1129 Albany 1200 Albany 1200 Albany 1200 Albany 1201 Albany 1	Richmond	23223 23220 23220 23220 23220 23224 23224 23224 23223 23222 23222 23224 23224 23223 23223 23223 23223 23223 23223 23223 23224 23224 23224 23224 23224 23224 23224 23224 23224 23224 23224 23224 23224 23221 23221 23221	New Construction Shell Renovation Shell Renovation New Construction New Construction New Construction Renovation Renovation New Construction Shell Renovation Shell Renovation New Construction New Construction New Construction New Construction New Construction Renovation	2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2017-2018	60-80 60 60-80 60-80 60-80 60 60-80 60 60-80 60 60-80 60 60-80 60 60 60 60 60 60 60 60 60 60 60 60 60	\$170,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$179,000.00 \$140,000.00 \$140,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$185,000.00	DOT	w w w b b b b b b b b b b b b b b b b b
3 Sumpter Richmond 23221 Shell Renovation 2018-2019 60-80 \$167,000.00 CLT b 23 North 29 th Richmond 23223 New Construction 2018-2019 80-100 \$200,000.00 CLT w	37 North 26th 03 Liegh 07 Leigh 18 Catherine 28 Catherine 10 Catherine 10 Catherine 14 Catherine 14 Catherine 25 Bainbridge 12 Albany 20 Albany 26 North 26th 14 North 26th King 05 Maury 22 Stockton 23 North 28th 07 North 27th 17 North 29th 14 Sewell 13 Venable 15 Venable 19 Catherine 17 Catherine 09 Catherine 17 Catherine 015 Catherine 11 Catherine 04 Boston 23 Bainbridge 00 Dance 00 Maury 01 Maury 01 Maury 01 Maury 01 Wallace 07 Blair 04 Eggleston	Richmond	23223 23220 23220 23220 23220 23222 23224 23224 23224 23223 23223 23222 23224 23224 23223 23223 23222 23224 23224 23224 23224 23221 23221 23221 23224 23224 23224 23224 23224 23224 23224 23224 23224 23224 23224 23221 23221 23221 23221 23221 23221 23221 23221 23221 23221 23222	New Construction Shell Renovation Shell Renovation New Construction New Construction New Construction Renovation Renovation New Construction Shell Renovation Shell Renovation New Construction New Construction New Construction New Construction New Construction Renovation	2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2017-2018 2018-2019 2018-2019	60-80 60 60-80 60-80 60-80 60 60-80 60 60-80 60 60-80 60 60-80 60 60 60 60 60 60 60 60 60 60 60 60 60	\$170,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$179,000.00 \$140,000.00 \$140,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$185,000.00	DOT	* * * * B * b b * b * b * b * b * b * b
23 North 29 th Richmond 23223 New Construction 2018-2019 80-100 \$200,000.00 CLT w	37 North 26th 03 Liegh 07 Leigh 18 Catherine 28 Catherine 10 Catherine 10 Catherine 14 Catherine 14 Catherine 25 Bainbridge 12 Albany 20 Albany 26 North 26th 14 North 26th King 05 Maury 22 Stockton 23 North 28th 07 North 27th 17 North 29th 14 Sewell 13 Venable 15 Venable 19 Catherine 17 Catherine 09 Catherine 17 Catherine 015 Catherine 11 Catherine 04 Boston 23 Bainbridge 00 Dance 00 Maury 01 Maury 01 Maury 01 Maury 01 Wallace 07 Blair 04 Eggleston	Richmond	23223 23220 23220 23220 23220 23222 23224 23224 23224 23223 23223 23222 23224 23224 23223 23223 23222 23224 23224 23224 23224 23221 23221 23221 23224 23224 23224 23224 23224 23224 23224 23224 23224 23224 23224 23221 23221 23221 23221 23221 23221 23221 23221 23221 23221 23222	New Construction Shell Renovation Shell Renovation New Construction Renovation Renovation Renovation Renovation Renovation Renovation Shell Renovation Shell Renovation Shell Renovation Shell Renovation	2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2017-2018 2018-2019 2018-2019	60-80 60 60-80 60 60-80 60 60-80 60 60-80 60 60-80 60 60 60-80 60 60 60 60 60 60 60 60 60 60 60 60 60	\$170,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$135,000.00 \$140,000.00 \$140,000.00 \$170,000.00	DOT	w w w w b b w b b w b w w w w w mr mr b w w w w w w w w w w w w w w w w w w
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25 North 29th Richmond 23223 New Construction 2018-2019 80-100 \$200,000,000 DOT CLT Is	137 North 26th 130 Liegh 131 Catherine 132 Catherine 133 Catherine 134 Catherine 135 Catherine 136 Rose 137 Leigh 138 Little Catherine 139 Little Catherine 130 Rose 131 Little Catherine 131 North 26th 132 Rose 133 North 26th 134 North 26th 135 North 27th 137 North 27th 137 North 27th 137 North 27th 137 North 29th 131 Venable 135 Venable 135 Venable 136 Catherine 137 Catherine 137 Catherine 137 Catherine 137 Catherine 138 Little Catherine 139 Little Catherine 130 Maury 130 Maury 130 Maury 130 Maury 130 Maury 130 Sumpter 130 Sumpter 130 Sumpter	Richmond	23223 23220 23220 23220 23220 23222 23224 23224 23224 23223 23223 23223 23223 23223 23223 23221 23221 23224 23224 23224 23224 23224 23221 23224 23224 23224 23224 23221 23221 23221 23221 23221 23221 23221 23221 23221 23221	New Construction Shell Renovation Shell Renovation New Construction Shell Renovation Shell Renovation New Construction New Construction New Construction New Construction New Construction Renovation Renovation Renovation Renovation Renovation Renovation Shell Renovation	2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2017-2018	60-80 60 60-80 60 60-80 60 60-80 60 60-80 60 60-80 60 60 60 60 60 60 60 60 60 60 60 60 60	\$170,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$135,000.00 \$140,000.00 \$140,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$185,000.00	DOT	w w w w b b w b b w b w b w w w w w w mmr b w w w w b b w b w b w b w b w b w b
	337 North 26th 103 Liegh 103 Liegh 107 Leigh 118 Catherine 119 Catherine 110 Catherine 1114 Catherine 1114 Catherine 1128 Albany 120 Albany 120 Albany 120 Albany 120 Albany 120 Albany 120 Albany 1216 North 26th 121 North 26th 121 North 26th 122 King 125 King 126 North 27th 127 North 27th 127 North 27th 127 North 29th 127 North 29th 127 Venable 128 Venable 129 Catherine 1217 Catherine 1217 Catherine 1217 Catherine 1217 Catherine 1217 Catherine 121 Catherine 1223 Bainbridge 1200 Dance 1201 Maury 1203 Maury 1201 Wallace 1207 Blair 104 Eggleston 105 Sumpter 123 Sumpter 123 North 29 th	Richmond	23223 23220 23220 23220 23220 23222 23224 23224 23224 23223 23223 23223 23223 23223 23223 23221 23221 23224 23224 23224 23224 23224 23221 23224 23224 23224 23224 23221 23221 23221 23221 23221 23221 23221 23221 23221 23221	New Construction Shell Renovation Shell Renovation New Construction Shell Renovation Shell Renovation New Construction New Construction New Construction New Construction New Construction Renovation Renovation Renovation Renovation Renovation Renovation Shell Renovation	2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2016-2017 2017-2018	60-80 60 60-80 60 60-80 60 60-80 60 60-80 60 60-80 60 60 60 60 60 60 60 60 60 60 60 60 60	\$170,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$184,000.00 \$135,000.00 \$140,000.00 \$140,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$170,000.00 \$185,000.00	DOT	w w w w b b w b b w b w b w w w w w w mmr b w w w w b b w b w b w b w b w b w b

1722 Rose	Richmond	23222	New Construction	2018-2019	60-80	\$185,000.00	DOT	w
1728 Rose	Richmond	23222	New Construction	2018-2019	60-80	\$185,000.00	DOT	b
16 Fells	Richmond	23222	New Construction	2018-2019	60-80	\$185,000.00	DOT	b
2 King	Richmond	23222	New Construction	2018-2019	60-80	\$175,000.00	DOT	W
2011 Albany	Richmond	23224	New Construction	2018-2019	60-80	\$165,000.00	DOT	b
4 North Ivy	Henrico	23075	Shell Renovation	2018-2019	60-80	\$185,000.00	DOT	W
3100 Pineland	Chesterfield		New Construction	2018-2019	60-80	\$165,000.00	DOT	W
1615 Winder	Richmond	23221	Shell Renovation	2018-2019	60-80	\$185,000.00	DOT CLT	mr
1505 New York	Richmond	23221	Shell Renovation	2018-2019	60-80	\$177,000.00	CLT	w
1501 New York	Richmond	23221	Shell Renovation	2018-2019	60-80	\$177,000.00	CLT	w
1507 New York	Richmond	23221	Shell Renovation	2018-2019	60-80	\$177,000.00	CLT	w
1511 Kansas	Richmond	23221	Shell Renovation	2018-2019	60-80	\$177,000.00	CLT	w
2006 Maury	Richmond	23224	Renovation	2018-2019	60-80	\$161,000.00	DOT	b
2002 Maury	Richmond	23224	Renovation	2019-2020	60-80	\$161,000.00		b
2010 Albany	Richmond	23224	New Construction	2019-2020	60-80	\$175,000.00	DOT	w
1904 Maury	Richmond	23224	Renovation	2019-2020	60-80	\$167,000.00		b
20 King Street	Richmond	23222	New Construction	2019-2020	50-60	\$189,000.00	DOT	b
1209.5 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$190,000.00	DOT	w
1207.5 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	b
1205.5 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	w
1115 Randolph	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	w
1205 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	w
1207 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	w
1203.5 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	b
1113 Randolph	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	w
19 South Elm	Henrico	23075	New Construction	2019-2020	60-80		DOT	b
						\$165,000.00	DOT	
2415 Everett	Richmond	23224	Modular New Construction	2019-2020	60-80	\$130,000.00		b
1130 Randolph	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	W
120 Holly	Henrico	23221	Shell Renovation	2019-2020	60-80	\$135,000.00	DOT	w
1702 Jaqueline	Richmond	23221	Shell Renovation	2019-2020	60-80	\$192,000.00	CLT	mr
900 Harrison	Richmond	23221	New Construction	2019-2020	60-80	\$189,000.00		W
1216 Catherine	Richmond	23221	New Construction	2019-2020	60-80	\$215,000.00	DOT	W
1209 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	mr
1700 Jaqueline	Richmond	23221	Shell Renovation	2019-2020	60-80	\$192,000.00	CLT	w
1704 Jaqueline	Richmond	23221	Shell Renovation	2019-2020	60-80	\$192,000.00	CLT	W
1121 Meade	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	W
2006 Barton	Richmond	23222	New Construction	2019-2020	60-80	\$215,000.00	DOT	mr
1117 Meade	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	w
1903 Greenwood	Richmond	23222	New Construction	2020-2021	60-80	\$215,000.00	DOT	b
1905 Greenwood	Richmond	23222	New Construction	2020-2021	60-80	\$215,000.00	DOT	w
2117 Barton	Richmond	23222	New Construction	2020-2021	60-80	\$215,000.00	DOT	w
10 King	Richmond	23222	New Construction	2020-2021	60-80	\$190,000.00	DOT	b
1404 Colorado	Richmond	23223	Shell Renovation	2020-2021	60-80	\$174,000.00	CLT	w
1710 Jaqueline Street	Richmond	23223	Shell Renovation	2020-2021	60-80	\$192,000.00	CLT	w
1203 Idlewood Avenue	Richmond	23223	Shell Renovation	2020-2021	60-80	\$200,000.00	DOT	w
1506 Kansas Avenue	Richmond	23223	Shell Renovation	2020-2021	60-80	\$185,000.00	CLT	w
24 Norh Juniper	Henrico	23075	Modular New Construction	2020-2021	60-80	\$185,000.00	CLT	b
19 North Ivy	Henrico	23075	Modular New Construction	2020-2021	60-80	\$185,000.00	CLT	b
1707 Albany	Richmond	23224	Renovation	2020-2021	60-80	\$185,000.00		b
1820 Maury	Richmond	23224	Renovation	2020-2021	60-80	\$185,000.00		b
1803 Maury	Richmond	23224	Renovation	2020-2021	60-80	\$185,000.00		b
1202 Dance	Richmond	23221	Renovation	2020-2021	60-80	\$185,000.00		b
1301 Dance	Richmond	23221	Renovation	2020-2021	60-80	\$185,000.00		w
1203 Wallace	Richmond	23221	Renovation	2020-2021	60-80	\$185,000.00		b
1401 Lakeview	Richmond	23221	Renovation	2020-2021	60-80	\$185,000.00		b
418 north 23rd	Richmond	23223	New Construction	2020-2021	50-60	\$155,000.00	CLT	b
1611 Montiero	Richmond	23222	Shell Renovation	2020-2021	60-80	\$190,000.00	CLI	w
1606 Sewell	Richmond	23222	Shell Renovation	2020-2021	60-80	\$185,000.00		w
1801 Texas	Richmond	23222	Shell Renovation	2020-2021	60-80	\$185,000.00		b
1001 1003	Memmonu	23221	Shell Kellovation	2021-2021	00-00	J165,000.00		b

Average Sales Price	\$160,636.77		
Total Secondary Financin	ng	135	
Total Renovations			51
Total Shell Renovations			68
Total Modular New Cons	struction		4
Total new Construction			100
G	rand Total Single I	amily	223

	Annual Income	
50-60	15	7%
60-80	191	86%
80-100	17	8%
Total	223	100%

Community Land T	rust Units 26

Homebuyer Race		
White	119	53%
Black	95	43%
Multi racial	7	3%
Asian	2	1%
Total	223	100%