



Property Purchase Application

Thank you for your interest in obtaining a Richmond Land Bank (RLB) property. The RLB is committed to returning vacant, abandoned, surplus, or tax-delinquent property to productive use that benefits and enriches the community, with a priority placed on the creation of permanently affordable housing. All applications shall be reviewed for (1) relevance and alignment with the Annual Plan and (2) strength of applicant's narrative and qualifications. ***In order for a Property Purchase Application to be considered, the applicant must first be eligible as a Qualified Applicant. For additional information on becoming a Qualified Application please refer to <https://www.richmondlandbank.com/apply>. Before making a final decision regarding an applicant's eligibility, the RLB may request additional documentation or materials.***

1. Applicant Information

Name:	
Address:	
Phone:	
Email:	

2. Have you been approved by the RLB as a Qualified Applicant? (only Qualified Applicants are eligible to apply for properties) ___ YES ___ NO

3. Property Information

List the address(es) of the property(ies) you are interested in purchasing and their intended use.

Address	Building or Lot?	Intended Use	Price

Are you interested in placing your completed home in the **Community Land Trust Program**?

YES ___ NO ___

4. Development/Management Plan For Buildings - Please Check Box

Redevelopment

- Renovate/Rehabilitate
- Occupy/Operate As-Is
- Demolish/Deconstruct
- New Construction

Management

- Redevelop and re-sell to an owner occupant
- Operate this property as a rental
- Occupy this property with my own business

Compliance to Building Standards: Your proposal must comply with current zoning regulations and adhere to Virginia state building codes. To find out about obtaining permits in the City of Richmond visit: <http://www.richmondgov.com/PlanningAndDevelopmentReview/> Additionally, RLB encourages developers to include energy efficiency standards in homes.

Redevelopment Plan: Be as specific and detailed as possible with providing information to support your proposal.

Please attach

- Plan to contract with qualified individuals to complete the project
- Estimated timeline for completion
- Project budget form (attached), including status of any funding such as:
 - Loan Pre-Qualification Letter
 - Grant Award/Funding Commitment
- Schematics/sketches/drawings of redevelopment plan
- A description of applicant's experience completing similar projects, their qualifications or training to complete the project
- Documentation, if available, of ongoing or past work in the surrounding neighborhood
 - Provide demographics of past project residents, including, but not limited to AMI level, race, gender, household size, age
- Reasons for interest in the property (i.e. type of structure, neighborhood/location, price, personal connection). Please provide at least a 3-5 sentence description.
- How does your project address community inequities?
 - Please address the community need that you are serving with statistics about the neighborhood.
 - Provide demographic targets for future project residents, including, but not limited to, AMI level, race, gender, household size, age.
 - Provide the target purchase price or rent
- Letters of support (community leaders, neighboring residents, neighborhood associations, etc.)

Rental Management Plan: If you plan to manage the property as a rental, please demonstrate your capacity to manage and maintain the property either as an established landlord or as a new one.

- Completed copy of Management Income Expense Budget (attached)
- Narrative description of your marketing plan
- Narrative description of management procedures
- Standard lease agreement
- Anticipated market served
 - Will accept Housing Choice Vouchers: YES_____ NO_____

Maintenance Plan:

If you plan to use a local property manager, list their contact information below:

Name/Phone Number:	
Company	

If you are working with a real estate agent, list their contact information below:

Name/Phone Number:	
Company	

5. Statements of Understanding: Please initial beside the following statements to demonstrate full understanding of RLB terms.

____ I understand that the RLB may receive multiple bids or offers to purchase properties and that it is at the sole discretion of the RLB to accept or reject any and all bids or offers. RLB may choose to withhold the transfer of this property if no applicant meets desired requirements.

____ I understand that there is no binding agreement with the RLB until the signing of the Purchase & Sales agreement.

____ I understand that I will be responsible for ensuring this property is not in violation of city codes and that it meets all regulations as soon as it comes into my ownership.

____ I understand that I will be given six (6) months to obtain all necessary permits and eighteen (18) months to complete proposed work. I acknowledge that my failure to meet these requirements will invoke the reversion clause in the development agreement, returning the property to the RLB's stewardship.

____ I understand that all property is sold as is and any potential hazards are not the responsibility of the RLB upon transfer.

Richmond Land Bank Property Purchase Application

Attachment: Redevelopment Plan

Overview

project:HOMES is submitting an application to build a new two story single family detached home at 1800 Albany Avenue. As a nonprofit community development corporation, we realize our mission "Improving lives by improving homes" by building high quality, affordable homes. Our construction techniques have helped set the standard for affordable and market rate infill construction in Church Hill and other city neighborhoods. The 1,500 square foot home proposed for this property will have three bedrooms and two and a half bathrooms with front and rear porches.

Construction of the new home at 1800 Albany Avenue will be financed by project:HOMES' operating credit line with BB&T and subsidized by project:HOMES FY21 Blackwell Affordable Homeownership grant from the City of Richmond Department of Community Development. This grant has supported the construction of three affordable homes in the 2000 block of Albany Avenue and has funding for four additional homes in the Blackwell neighborhood. Construction costs can be found in the budget attached. Plans and truss engineering have already been completed for this project and permit applications can be submitted as soon as the property is transferred and soil tests and surveys are completed. Construction can begin as soon as a permit is issued and this project would take a priority slot in our FY21-22 production plan. Our goal is to have the home completed and sold by October 1st 2021. The home will be sold to a buyer with an annual income at or below 80% of the area median and the land will be sold to the Maggie Walker Community Land Trust for \$1 ensuring lasting affordability of this property.

We will operate as the general contractor for this project, licensed under the name Elderhomes Corporation. Project:HOMES utilizes a project management system for all of its new construction projects where one of our experienced construction project managers is assigned to and responsible for all labor and materials that go into the construction of each home. This individual focus and attention and clear assignment of responsibility and authority enables the project manager to provide great attention to detail and process planning. We believe that this method results in a higher quality home and a more efficient construction process.

Previous Experience

Our expertise in new home design, construction, and residential infill development will be utilized in all aspects of this project. When working in existing neighborhoods, honoring the architectural character of that neighborhood is always a priority for our designs. Project:HOMES has extensive experience building new homes in the city of Richmond and has a solid working knowledge of City of Richmond zoning code, building code, and Department of Public Utilities requirements. Our history of building quality infill homes in Richmond has given

us the opportunity to build and maintain good working relationships with city planners, zoning officers, and inspectors.

Project:HOMES has worked with various partners over the last 20 years to build and renovate 227 homes in the city of Richmond and counties of Henrico and Chesterfield all of which were sold low to moderate income owner occupants. Our partners have included the City of Richmond, RRHA, Bon Secours, Housing Opportunities Made Equal and the Better Housing Coalition. Project:HOMES partnered with the Maggie Walker Community Land trust to build their first home at 1114 North 26th street in 2017. Project:HOMES and the CLT have enjoyed a strong partnership in the last five years producing 26 homes in neighborhoods throughout Richmond. We are excited to again have an opportunity to provide a perpetually affordable home and build our first CLT home in the Blackwell neighborhood.

Interest in Property

The construction of one of our homes at 1800 Albany Avenue will reinforce the positive impact of the thirteen homes that project:HOMES has renovated or built in the adjacent blocks. Building another affordable new home at 1800 Albany Avenue will also support the five new homes that project:HOMES will build as a part of the upcoming Blackwell homeownership partnership with the Maggie Walker Community Land Trust. The home at 1800 Albany Avenue will feature architectural style congruent with the Blackwell neighborhood, an efficient floor plan, and our standard high quality finishes.

Community Equity

The Richmond Regional Housing Framework released in January 2020 published data showing a decrease of black homeownership in Blackwell and Manchester while there was an increase of white homeowners by more than 100% in those same two neighborhoods. To address this inequity, a stated goal of the Framework is to “Support Racially Inclusive Wealth Creation by Increasing Homeownership Opportunities for Low and Moderate Income Households.” One of the priority solutions to this goal designated in the Framework is to expand the community land trust homeownership model. In the Church Hill, Randolph, and Southern Barton Heights neighborhoods, project:HOMES has sold 26 single family homes using this model to the Maggie Walker Community Land Trust. The new home constructed at 1800 North Albany Avenue would align with this solution to the Framework’s goal of addressing homeownership inequity by adding an additional opportunity for a low to moderate income household to purchase their first home.

A NEW RESIDENCE

1800 ALBANY AVENUE

RICHMOND, VIRGINIA

LIST OF DRAWINGS

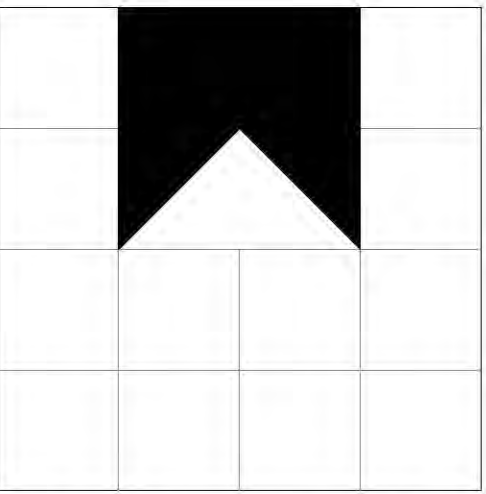
NO.	TITLE
A-001	COVER SHEET
A-101	FOUNDATION PLAN FLOOR PLANS FRAMING DETAILS
A-102	FRAMING PLANS STRUCTURAL NOTES
A-103	BRACED WALL PANEL DATA / DETAILS
A-201	BUILDING ELEVATIONS
A-301	BUILDING SECTION / SCHEDULES
E-101	ELECTRICAL POWER AND LIGHTING

BUILDING DATA

SCOPE OF WORK:	CONSTRUCTION OF A NEW SINGLE-FAMILY, DETACHED, TWO-STORY RESIDENCE.
APPLICABLE CODES:	2015 VIRGINIA RESIDENTIAL CODE
ZONING DISTRICT:	R-7
SETBACKS - FRONT:	15 FEET
SIDE:	3 FEET
REAR:	5 FEET
CONSTRUCTION TYPE:	VB (WOOD FRAME, UNPROTECTED)
USE GROUP:	R-3, SINGLE FAMILY RESIDENCE
BUILDING AREAS:	1ST FLOOR: 770 SQ FT (11.95% OF LOT AREA) 2ND FLOOR: 770 SQ FT TOTAL: 1,540 SQ FT
LOT AREA:	6,940 SQ FT
FIRE RATED ASSEMBLIES:	NONE ARE REQUIRED, ALL EXTERIOR WALLS ARE GREATER THAN 5'-0" TO ANY LOT LINE OR CENTER OF PUBLIC WAY. ALL MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE DESIGN/BUILD AND COMPLY WITH NATIONAL ELECTRICAL CODE CURRENT EDITION. PERMIT DRAWINGS FOR THOSE AREAS OF WORK SHALL BE SUBMITTED BY THE DESIGNATED TRADE.

GENERAL NOTES

- CONTRACTOR SHALL CONFORM TO THE 2015 VIRGINIA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS, PART 1 OF THE VAUSBC AS ADOPTED BY THE COMMONWEALTH OF VIRGINIA.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING CONSTRUCTION.
- CONTRACTOR SHALL CAULK, FLASH OR OTHERWISE MAKE THE BUILDING WEATHERTIGHT.
- CONTRACTOR SHALL CAULK ALL GAPS BETWEEN DISSIMILAR MATERIALS.
- ALL WOOD SILLS THAT ARE WITHIN 8" OF EXPOSED EARTH OR ON CONCRETE SLABS SHALL BE PRESERVATIVE TREATED.
- ALL HOSE BIBBS SHALL BE FREEZE PROOF AND HAVE A BACKFLOW PREVENTER.
- RUN ALL TOILET FANS AND EXHAUST VENTS TO AN APPROVED EXTERIOR DISCHARGE.
- 8" MIN. REQUIRED BETWEEN FINISH GRADE AND BOTTOM OF SIDING.
- CONTRACTOR SHALL COORDINATE PLACEMENT OF ROOF FRAMING AND INSTALLATION OF ANY ATTIC ACCESS HATCHES AND SKYLIGHTS.
- ALL FIXED GLAZING IN WINDOWS AND DOORS SHALL BE TEMPERED GLASS OR SAFETY GLAZED PER THE REQUIREMENTS OF VRC CHAPTER R308 WHERE OCCURRING IN THE HAZARDOUS LOCATIONS IDENTIFIED THEREIN.
- SEALED AND SIGNED SHOP DRAWINGS ARE REQUIRED FOR PRE-ENGINEERED WOOD ROOF TRUSSES, GIRDERS AND BEAMS, IF ANY.
- HVAC CONTRACTOR SHALL RUN ALL CONDENSATE DRAINS TO AN APPROVED LOCATION.
- ALL EXPOSED GUTTERS, DOWNSPOUTS AND FLASHING TO BE PRE-FINISHED.
- INSULATE ALL WALL AROUND BATHROOMS/TOILETS WITH 3 1/2" UNFACED BATT INSULATION.
- SHELVING AND SHELF AND RODS TO BE BRACED AT 4'-0" O.C. MAX.
- VERIFY FRAMING/CONSTRUCTION DIMENSIONS PRIOR TO INSTALLATION OF CABINETS, TUBS, HVAC EQUIPMENT AND OTHER BUILT-IN FIXTURES OR EQUIPMENT.
- SILL PLATE ANCHORAGE - 1/2" DIAMETER X 18" LONG ANCHOR BOLTS AT 6'-0" O.C. MAXIMUM AT ALL EXTERIOR WALLS AND 12" MAXIMUM FROM CORNERS. ANCHOR BOLTS SHALL BE GROUTED SOLID IN MASONRY CORES, NOT MORTAR JOINTS.
- INSULATE ALL PIPING AT EXTERIOR WALLS.
- PROVIDE RECESSED BOX WITH VALVE TO AREA BEHIND REFRIGERATOR FOR ICEMAKER.
- ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ALL EQUIPMENT NECESSARY TO CONTROL EXISTING GROUND FAULT CURRENT AT THE SITE.
- ALL WASHING MACHINES AND WATER HEATERS TO BE SET IN A PLASTIC OVERFLOW PAN WITH A DRAIN TO AN EXTERIOR OR APPROVED DISCHARGE.
- GENERAL CONTRACTOR IS REQUIRED TO COORDINATE UNDER CUTTING OF DOOR WITH THE HVAC CONTRACTOR FOR ADEQUATE RETURN AIR FLOW.
- ONLY GALVANIZED NAILS AND OTHER CONNECTORS TO BE USED IN EXTERIOR WOOD FENCES, RAILS, STAIRS, ETC.
- CLOTHES DRYER EXHAUST SHALL COMPLY WITH THE 2012 VA RESIDENTIAL CODE
- ALL DIMENSIONS SHOWN ARE ACTUAL, AND ARE TO THE FACE OF STUDS OR TO FACE OF MASONRY OR CONCRETE. CONTRACTOR TO COORDINATE ACTUAL LAY-OUT IN FIELD.
- AT WOOD STUD EXTERIOR CORNERS (WHERE TWO INSULATED WALLS INTERSECT) - REFER TO DETAIL D4 ON SHEET A101.
- WHERE INTERIOR PARTITIONS INTERSECT AN EXTERIOR INSULATED WALL, A LADDER T-WALL FRAMED CORNER SHALL BE CONSTRUCTED, REFER TO DETAIL D3 ON SHEET A101.
- ALL HEADERS SHALL BE INSULATED WITH 1/2" FOAM BETWEEN.
- THE GENERAL CONTRACTOR IS TO BECOME FAMILIAR WITH ALL EXISTING CONDITIONS OF THE BUILDING AND SHOULD VERIFY THE LOCATIONS OF UTILITIES SUCH AS GAS, WATER, AND ELECTRIC WHICH MAY BE CONCEALED BEFORE PROCEEDING WITH THE WORK.
- ALL EXISTING UNDERGROUND UTILITIES SHALL BE LOCATED AND VERIFIED BY THE GENERAL CONTRACTOR BEFORE ANY WORK. THIS INCLUDES SANITARY LINES, DRAIN FIELD (IF ANY), POWER LINE, TELEPHONE AND CABLE LINES, IRRIGATION LINES AND SPRINKLER HEADS. CONTACT " MISS UTILITY " BY DIALING 811 OR OTHER UTILITY AGENCIES AS APPROPRIATE.



DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

new single family residence
 1800 ALBANY AVENUE
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT:HOMES

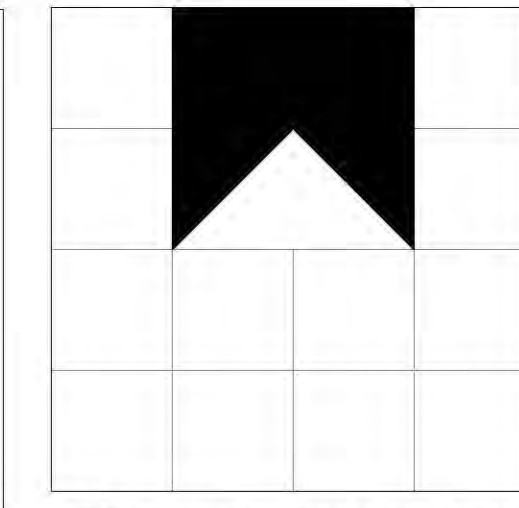
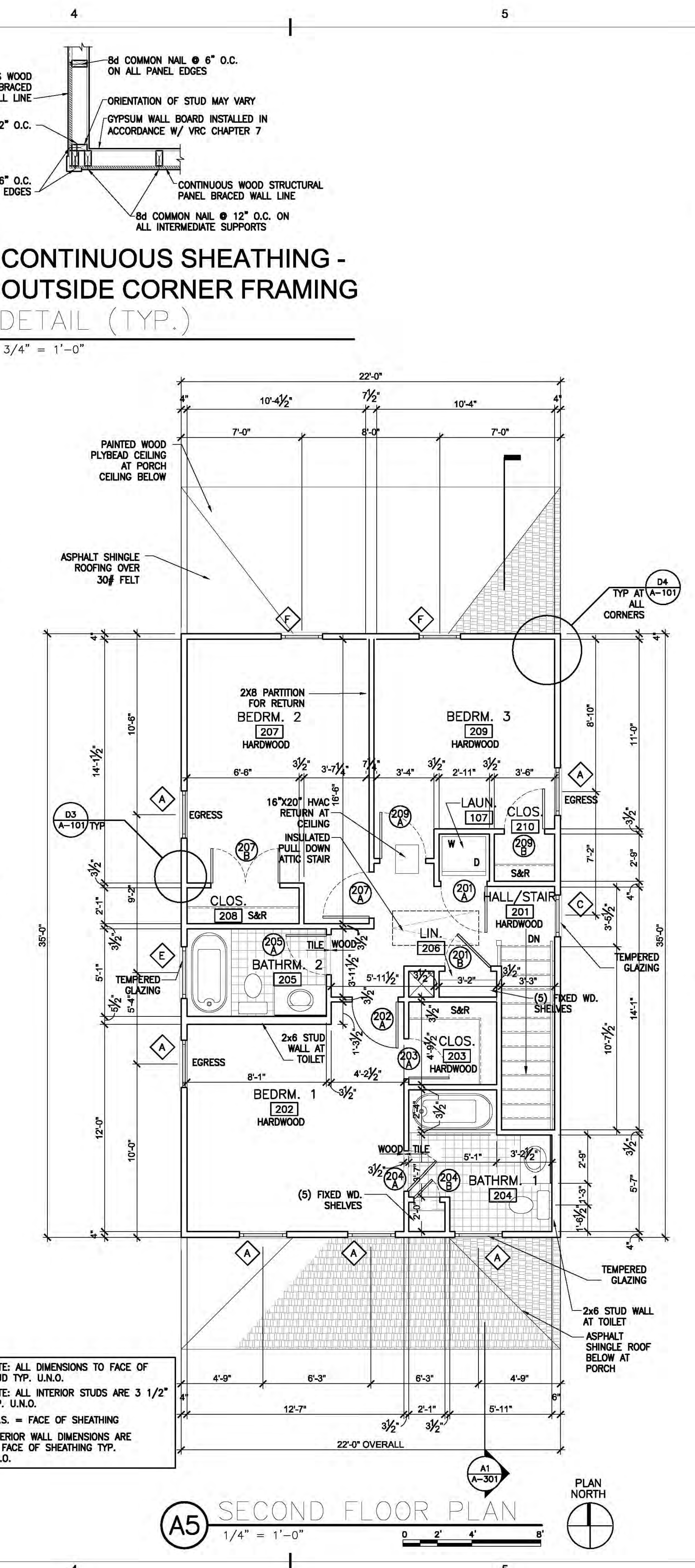
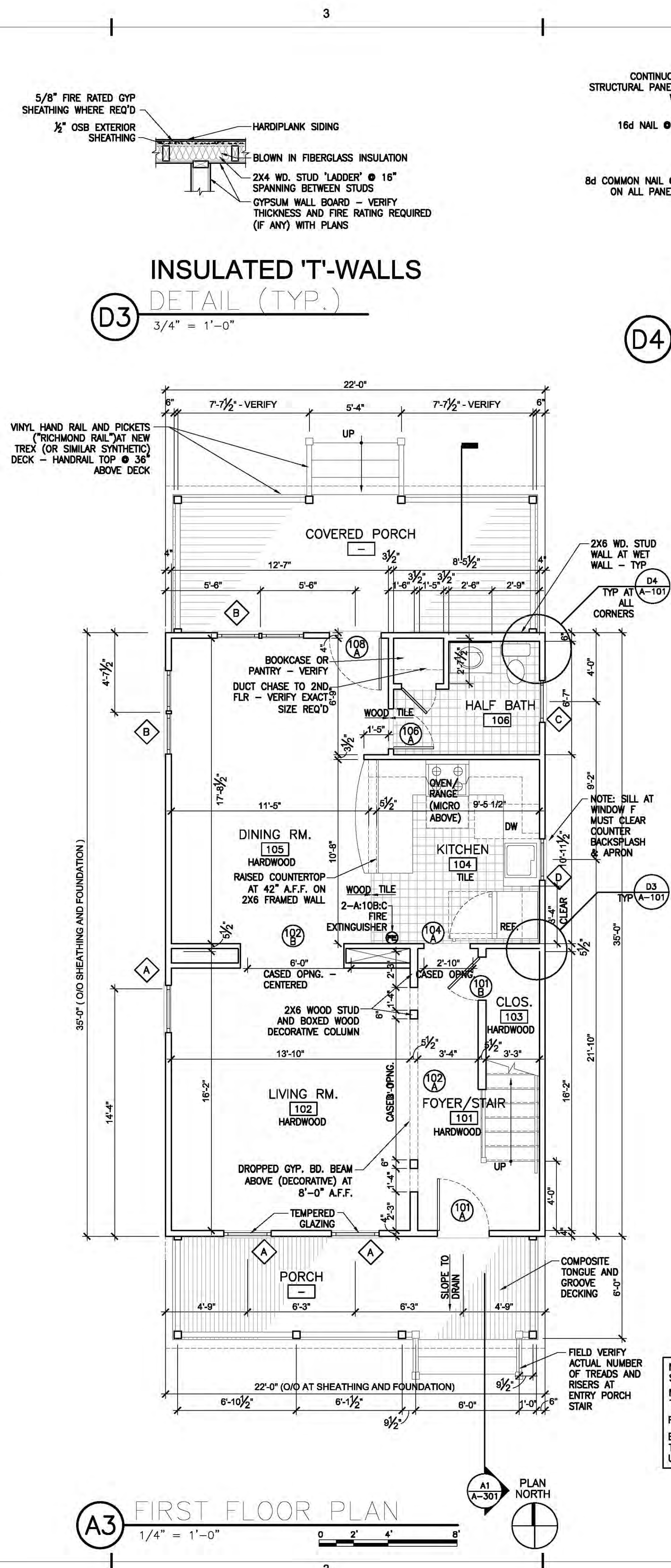
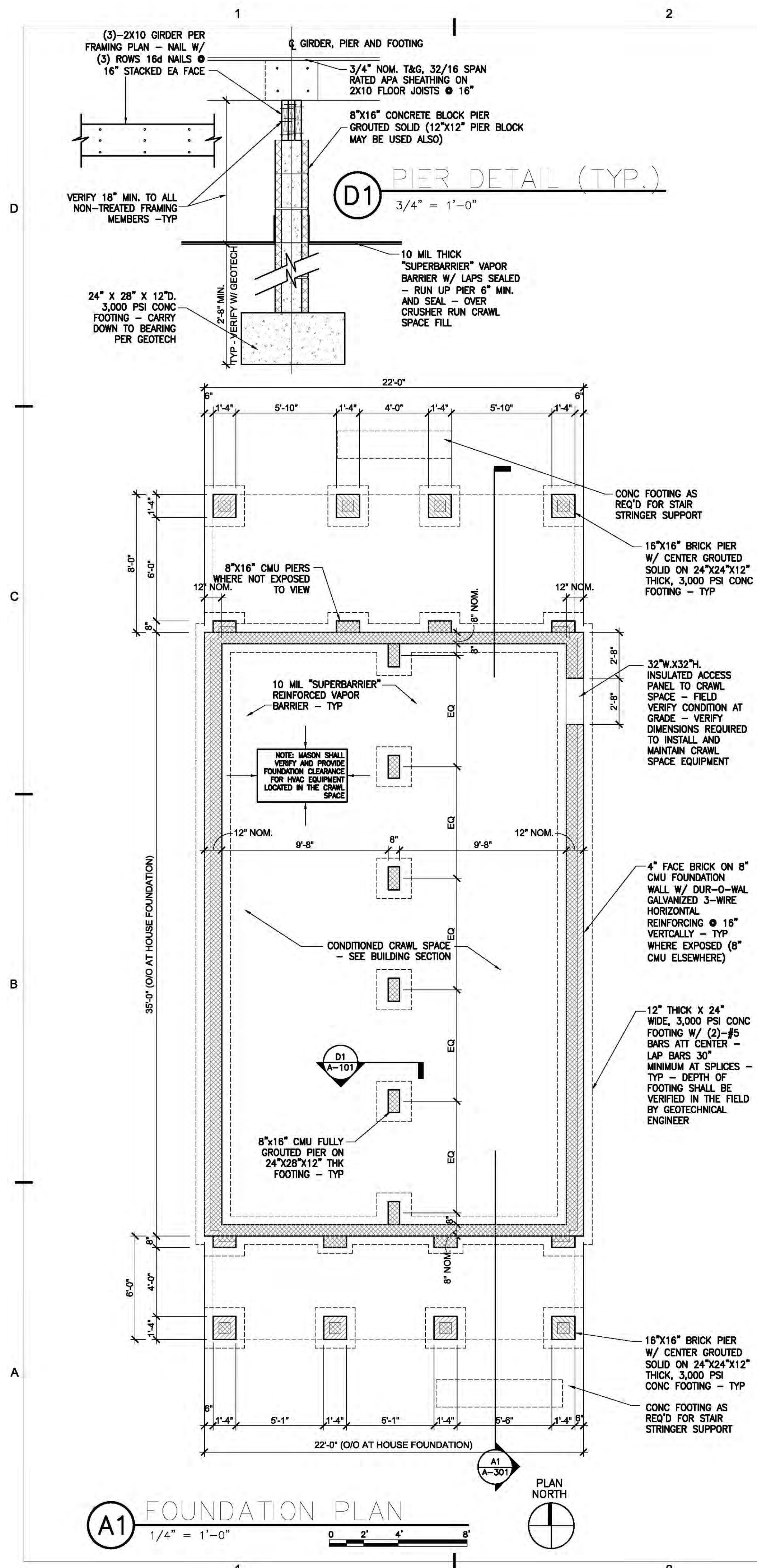
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job #:	2020-0001
drawn:	drw
ch'kd:	drw
cad #:	A001.DWG

sheet title
COVER SHEET /
BUILDING DATA /
SITE PLAN

A-001

sheet 1 of 6
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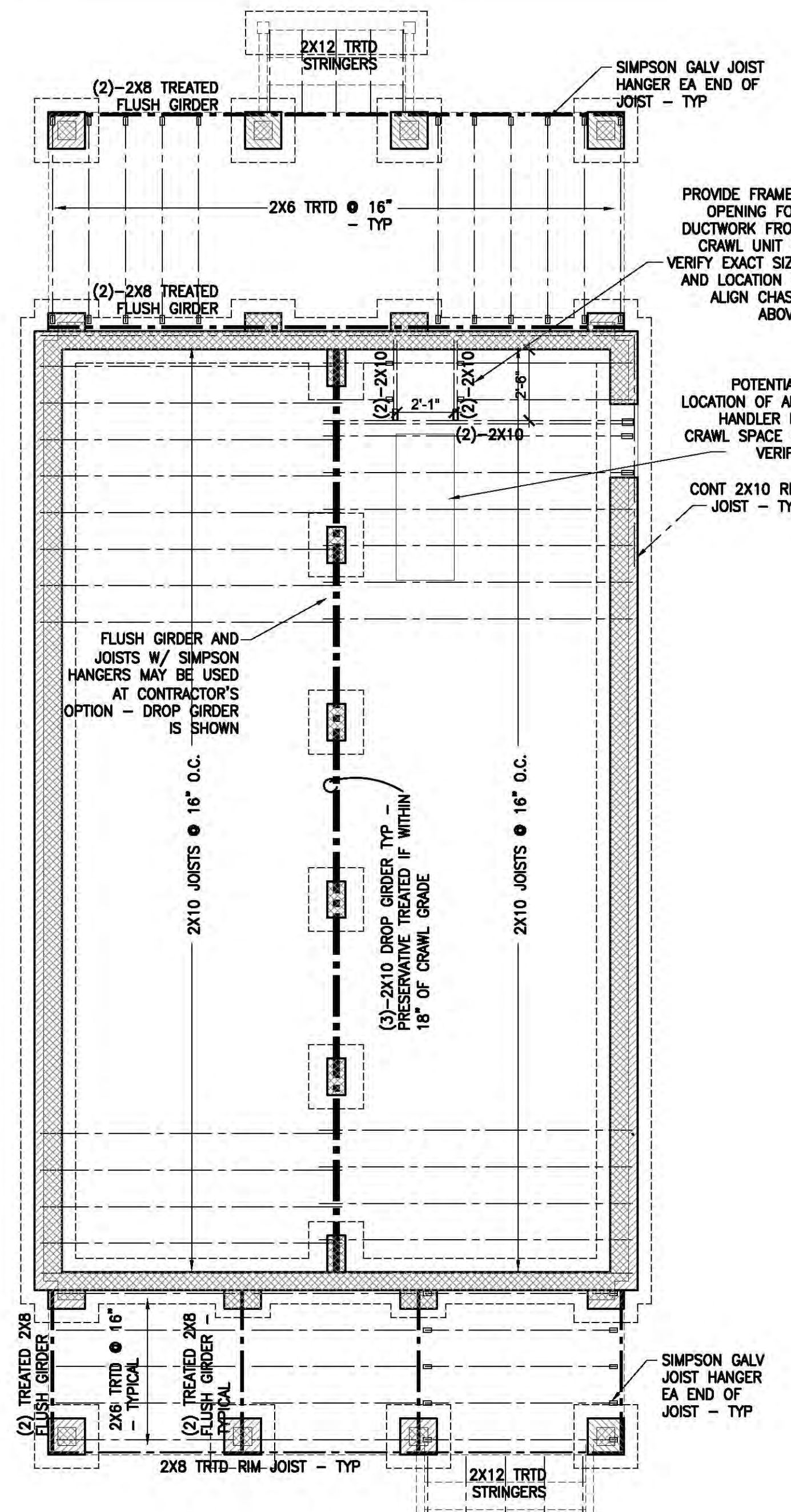
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drawn: drw
ch'kd: drw
cad #: A101.DWG

sheet title
FLOOR PLANS

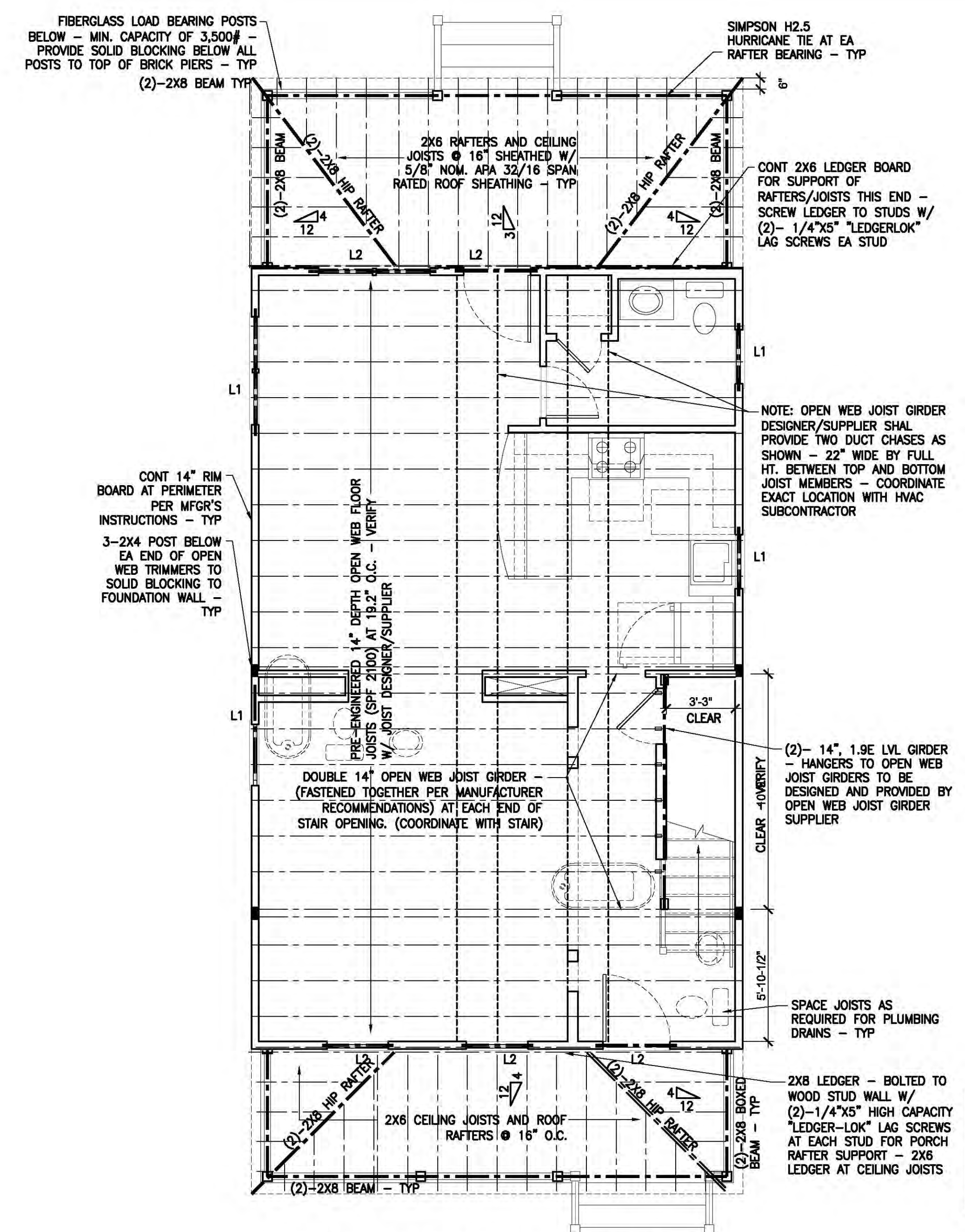
A-101
sheet **2 of 6**
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STRUCTURAL NOTES

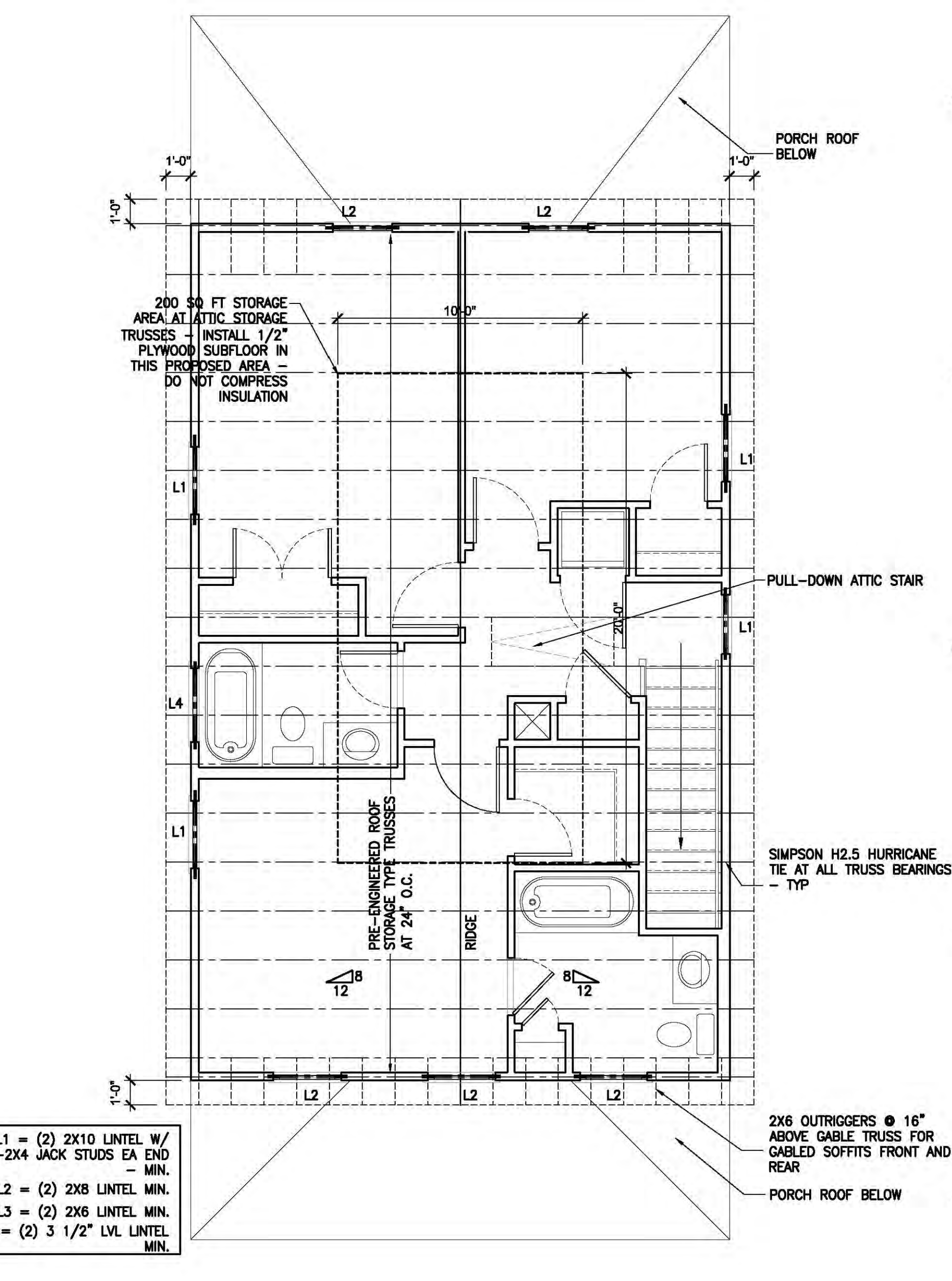
- THE DESIGN INDICATED ON THESE DRAWINGS PRESUMES THAT THE STRUCTURE IS TO BE FOUND ON NATURAL, UNDISTURBED SOIL OR COMPACTED STRUCTURAL FILL HAVING A SAFE ALLOWABLE BEARING PRESSURE OF 2000 PSF. IT IS THE OWNER'S RESPONSIBILITY TO HAVE THIS VALUE VERIFIED BY COMPETENT GEOTECHNICAL PERSONNEL.
DESIGN CODES: 2015 VIRGINIA RESIDENTIAL CODE
ALL FOUNDATION AND FOOTING WORK SHALL BE PERFORMED TO COMPLY WITH CHAPTER 4 OF 2015 VIRGINIA RESIDENTIAL CODE.
FOUNDATION WALL SHALL BE 4" FACE BRICK ON 8" CMU BACKUP MASONRY WALL WITH FULLY MORTARED OR GROUTED COLLAR JOINT AS NOTED. INSTALL SOLID CMU BLOCK UNITS AT ALL BEARING POINTS WITHIN WALLS AND AT INSIDE CORNERS. BALANCED EARTH FILL EACH SIDE OF WALL. GROUT CORES OF ALL PIERS SOLID. ALLOW MASONRY TO SET 24 HRS. MIN. BEFORE PLACING GROUT/COREFILL.
ANCHOR BOLTS SHALL BE PLACED WITHIN THE FULLY GROUTED CORE OF THE CMU - NOT THE COLLAR JOINT.
TREAT FOUNDATION SOIL FOR INSECTS AS REQUIRED BY BUILDING CODE, WITH A WARRANTED PROFESSIONAL PEST CONTROL COMPANY, USING TREATMENT PRODUCTS WHICH ARE ENVIRONMENTALLY APPROVED AS SAFE.
PRESERVATIVE TREAT ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR WOOD USED FOR EXTERIOR WEATHER EXPOSURE (ACQ). TREATMENT SHALL BE ENVIRONMENTALLY APPROVED AS SAFE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY BRACE AND SHORE ALL NEW OR EXISTING CONSTRUCTION TO SAFELY RESIST ALL REASONABLE LOADS TO WHICH THE NEW CONSTRUCTION MAY BE SUBJECTED UNTIL PERMANENT BRACING AND SUPPORT IS IN PLACE.
- MATERIALS:**
 - CONCRETE: MINIMUM 28 DAY COMPRESSIVE STRENGTH - 3000 PSI
SLUMP OF 2" - 4"
MAX. AGGREGATE SIZE = 3/4"
 - GROUT/COREFILL: ASTM C416, 9"-11" SLUMP, 3000 PSI MIN. COMPRESSIVE STRENGTH.
 - REINFORCING STEEL: BARS - ASTM A615, GRADE 60
WUF - ASTM A185
 - CONCRETE MASONRY UNITS: ASTM C90, TYPE N, MIN. COMPRESSIVE STRENGTH OF 1900 PSI, F'm = 1500 PSI
 - FACE BRICK: AS SELECTED BY PROJECT/HOMES.
 - MASONRY MORTAR: ASTM C210, TYPE S.
 - ANCHOR BOLTS: ASTM A307 / A36 (MILD STEEL)
 - STRUCTURAL SAUN LUMBER: 2X6 OR GREATER; #2 SOUTHERN YELLOW PINE, MC 19 2X4'S; #2 SFF
 - PLYWOOD AND OSB: APA RATED SHEATHING, 32/16 EXPOSURE 1. ALL EXTERIOR PLYWOOD OR OSB WALL SHEATHING SHALL BE NAILED PER THE REQUIREMENTS FOR BRACED WALL PANELS - METHOD C8-WBP (CONTINUOUS SHEATHING-WOOD STRUCTURAL PANEL) - 8d COMMON NAIL @ 6" O.C. ALONG PANEL EDGES AND 12" O.C. AT INTERMEDIATE STUD SUPPORTS. ALL EDGES BLOCKED.
 - PLATE CONNECTED WOOD TRUSSES: PER LATEST REQUIREMENTS OF THE TRUSS PLATE INSTITUTE (TPI)
 - LAMINATED VENEER LUMBER (LVL): AS MANUFACTURED BY WEYERHAEUSER HAVING THE FOLLOWING MINIMUM PROPERTIES: E=1.9E5 PSI, Fb=2600 PSI, Fv=285 PSI, Fc=150 PSI
- FOR ALL CONCRETE WORK: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 318 AND ACI 301, CODE-CURRENT EDITIONS
- FOR ALL STRUCTURAL MASONRY CONSTRUCTION: CONFORM TO ALL APPLICABLE SECTIONS OF ACI 330, CODE-CURRENT EDITION.
- DESIGN LOADS**
GROUND SNOW LOAD: 20 PSF
MIN. ROOF LIVE LOAD: 20 PSF
WIND SPEED / EXPOSURE: Vult = 115 MPH, Vead = 89 MPH / EXPOSURE B
FLOOR SYSTEM DESIGN IS BASED ON RESIDENTIAL LIVING AREA LIVE LOAD = 40 PSF
LOADING CONDITION MINIMUM, WITH LL/DEFLECTION = L/360 MAXIMUM
- PROVIDE FULL STUD SUPPORT UNDER BEARING SURFACES OF ROOF RAFTERS. DOUBLE STUDS AT ALL WINDOW AND DOOR LINTELS.
- VERIFY ALL FLOOR, JOIST AND RAFTER BEARING ELEVATIONS W/ OWNER IN THE FIELD.
- PROVIDE AND INSTALL HURRICANE TIES AS MANUFACTURED BY "SIMPSON STRONG TIE" AT ROOF RAFTER BEARINGS.
- PROVIDE WOOD LINTELS AT ALL WOOD FRAMED WINDOW AND DOOR OPENINGS AS SHOWN ON THE DRAWINGS.



A1 FOUNDATION AND 1ST FLOOR FRAMING PLAN
1/4" = 1'-0"
PLAN NORTH



A3 2ND FLOOR FRAMING AND PORCH ROOF FRAMING PLAN
1/4" = 1'-0"
PLAN NORTH



A5 ROOF FRAMING PLAN
1/4" = 1'-0"
PLAN NORTH

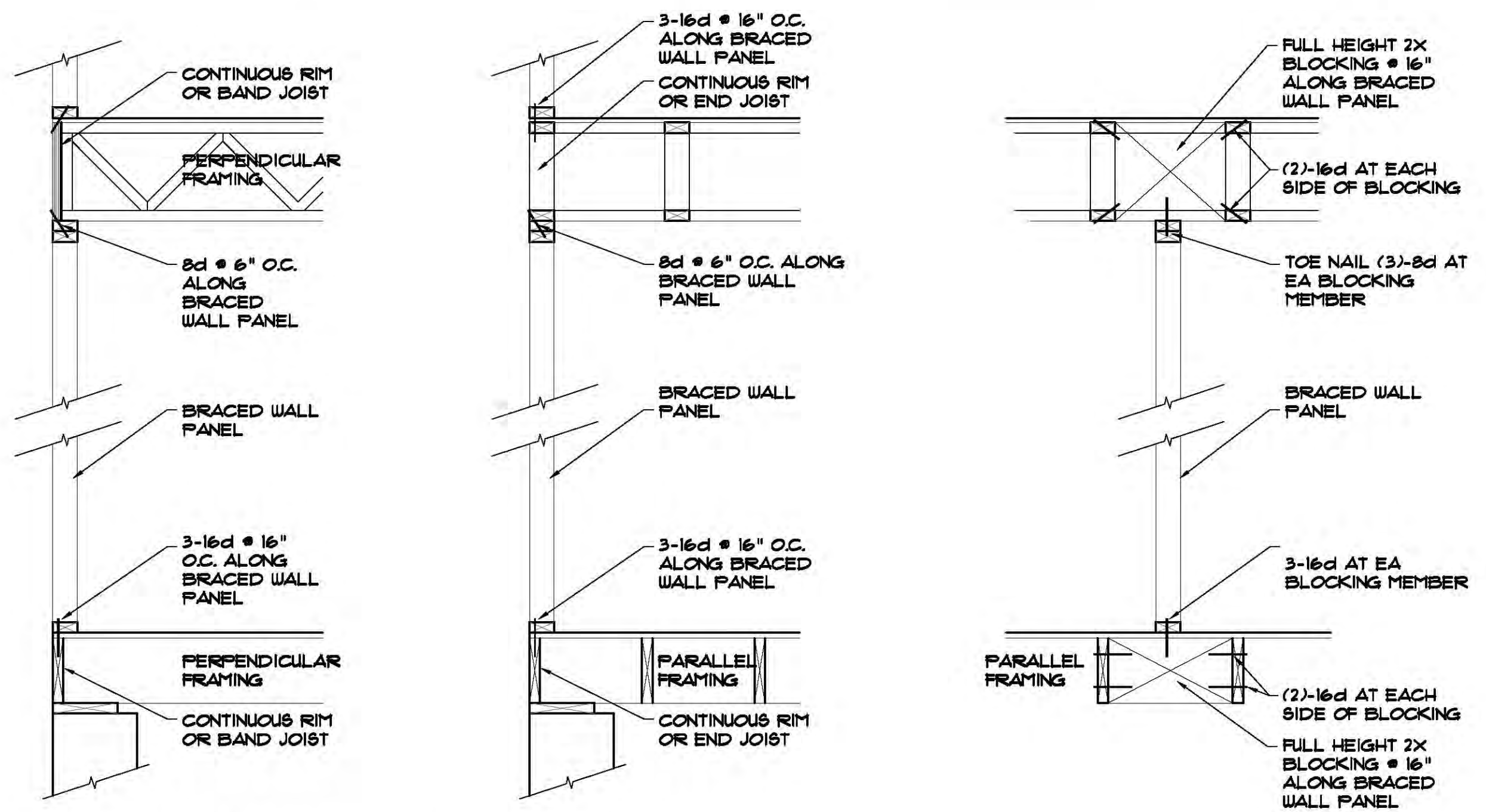
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job #: 2020-0001
drawn: drw
ch'kd: dwg
cad #: A102.DWG

sheet title
FRAMING PLANS
STRUCTURAL
NOTES



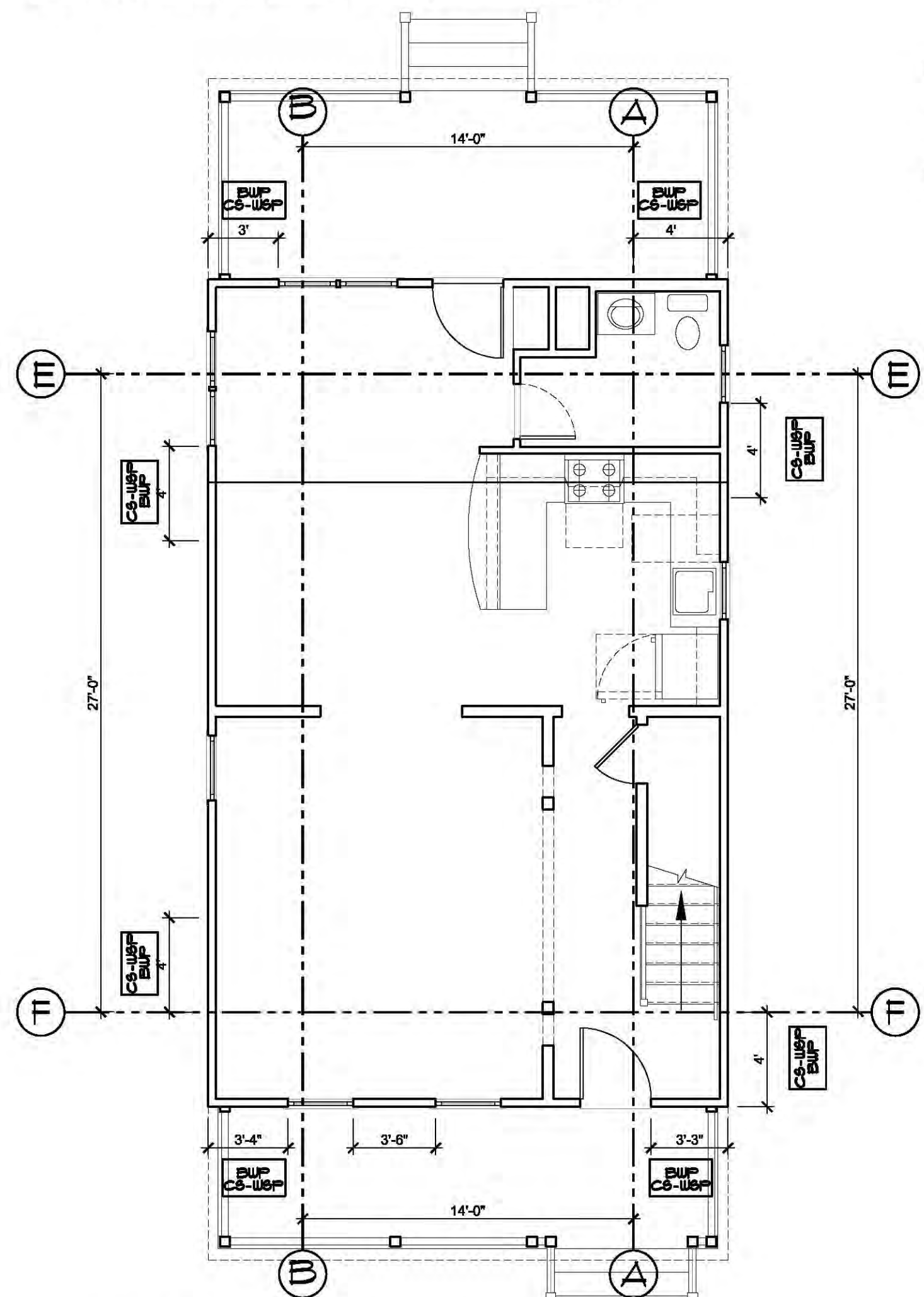
BRACED WALL PANEL CONNECTIONS

CI NO SCALE

BRACED WALL PANEL CALCULATIONS - 2013 ALBANY AVENUE

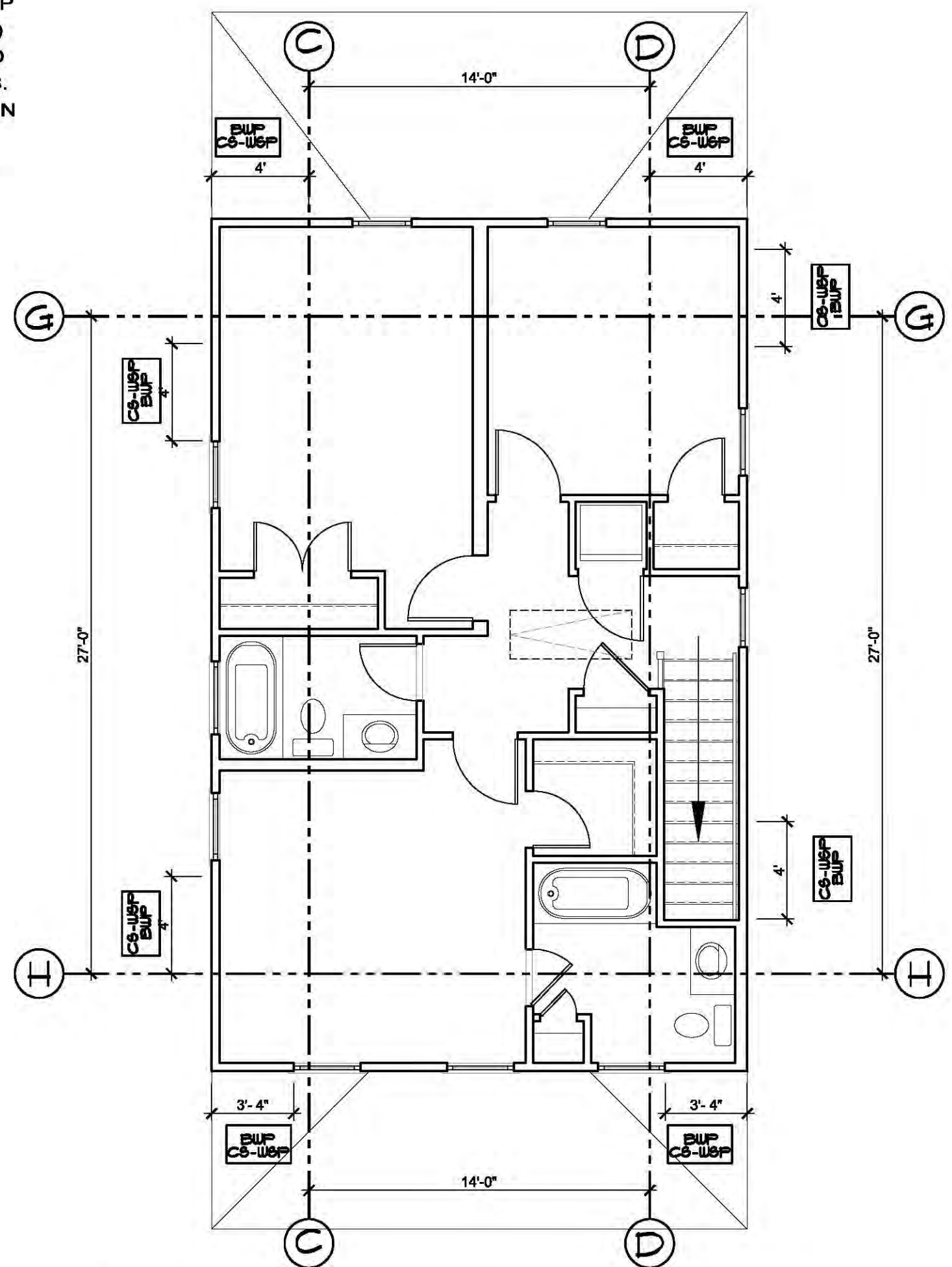
SEE CALCULATIONS ATTACHED TO PERMIT APPLICATION

BRACED WALL PANELS
 IRC §R602.10.4 METHOD CS-WSP
 (7/16" OSB or 15/32" PLYWOOD)
 CORNERS PER §R602.10.7 AND
 CONNECTIONS PER §R602.10.8.
 ROOF DIAPHRAGM CONNECTION
 PER §R602.10.8.2
 FASTEN PER IRC §R602.3(1)



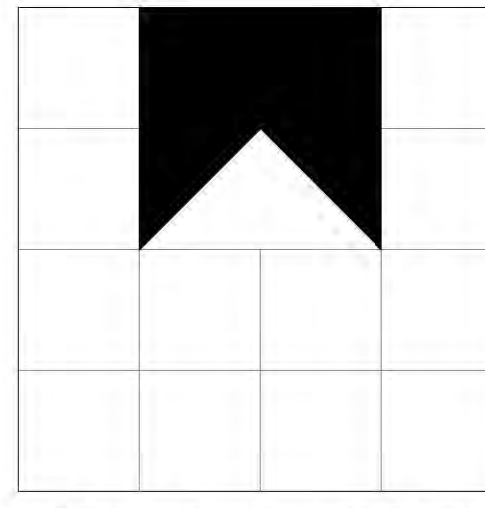
FIRST FLOOR BRACED WALL PANEL LOCATIONS

A1 NOT TO SCALE



SECOND FLOOR BRACED WALL PANEL LOCATIONS

A3 NOT TO SCALE



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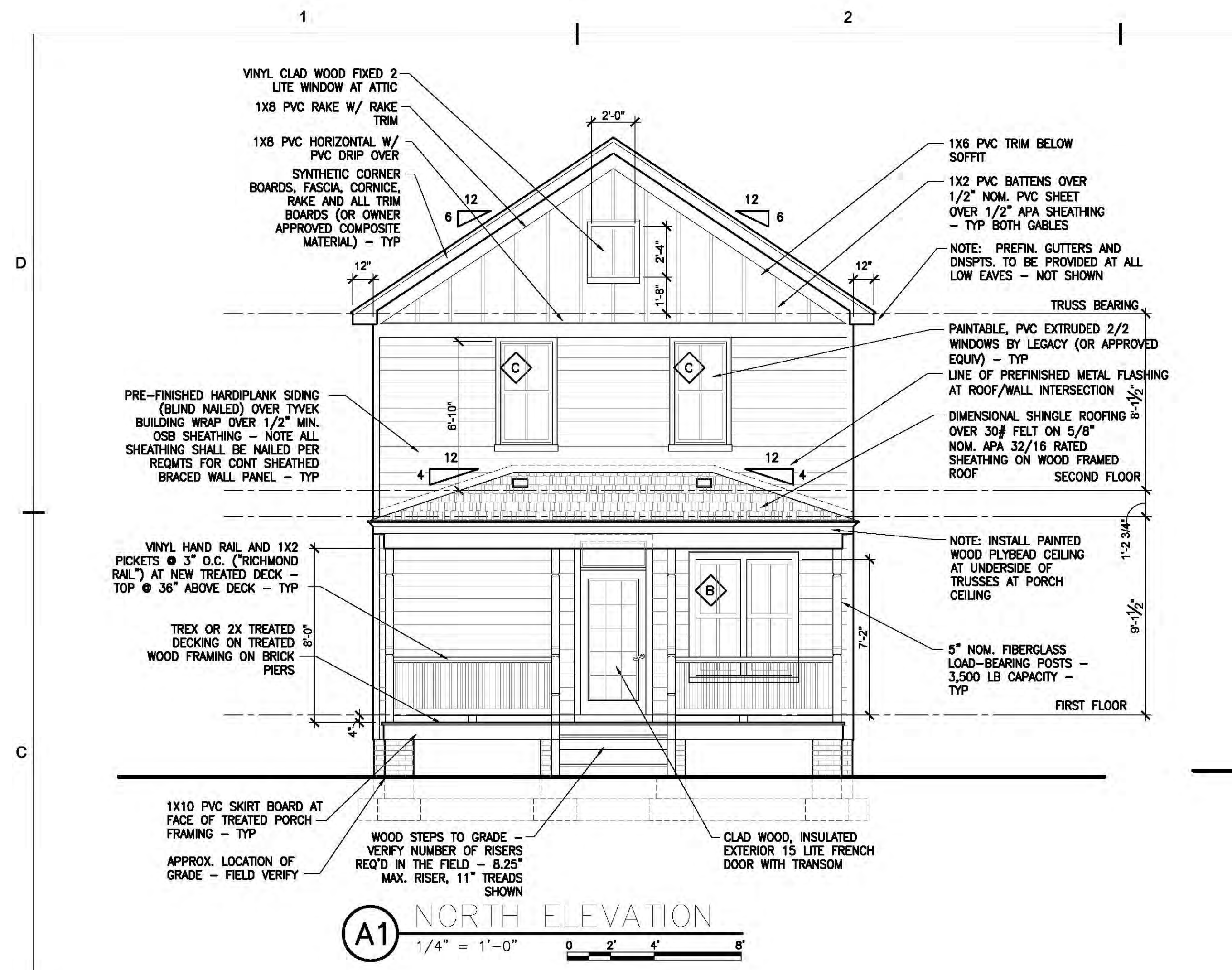
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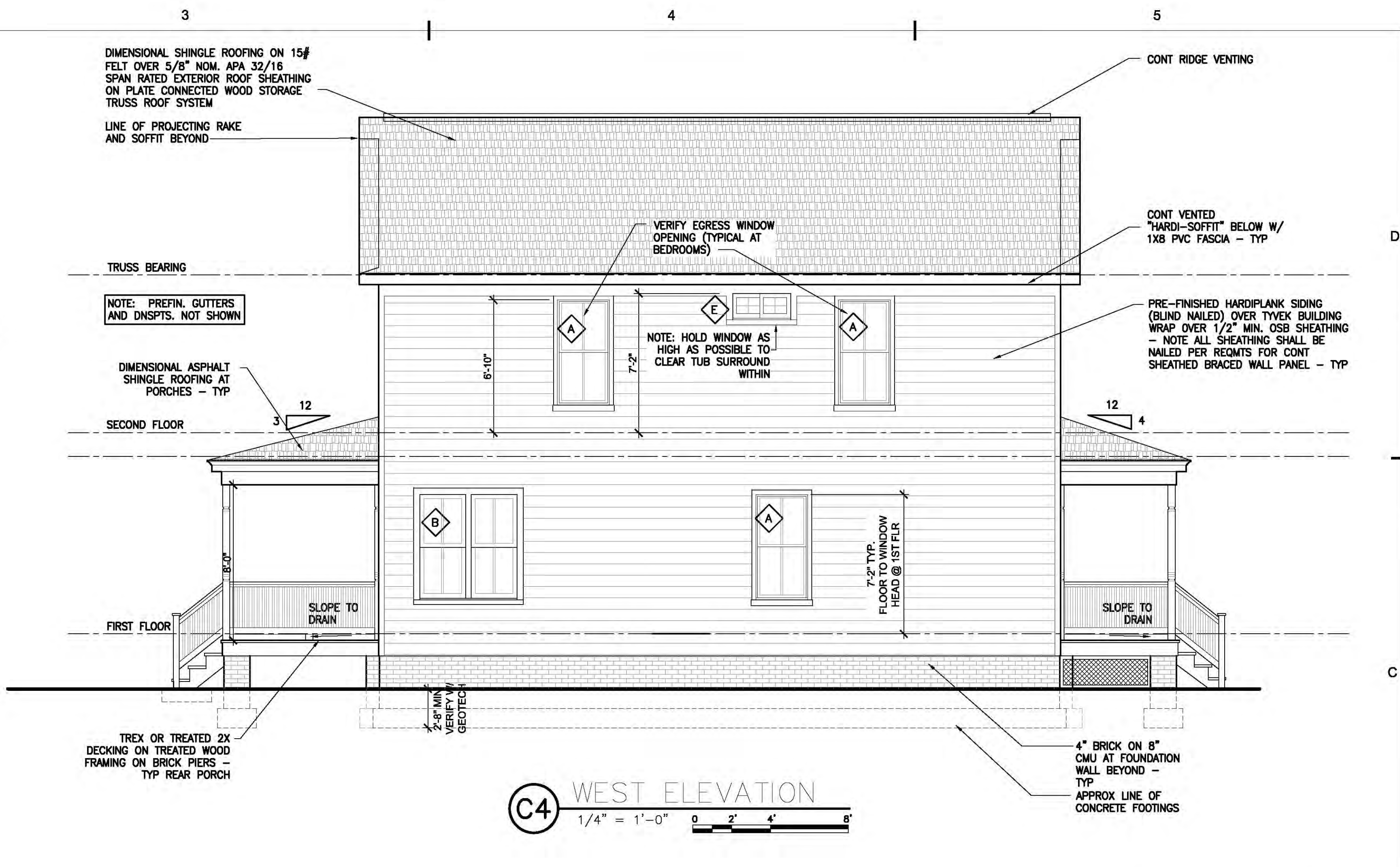
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 drawn: drw
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sheet title
 BRACED WALL PANEL DATA / U.L. DESIGN

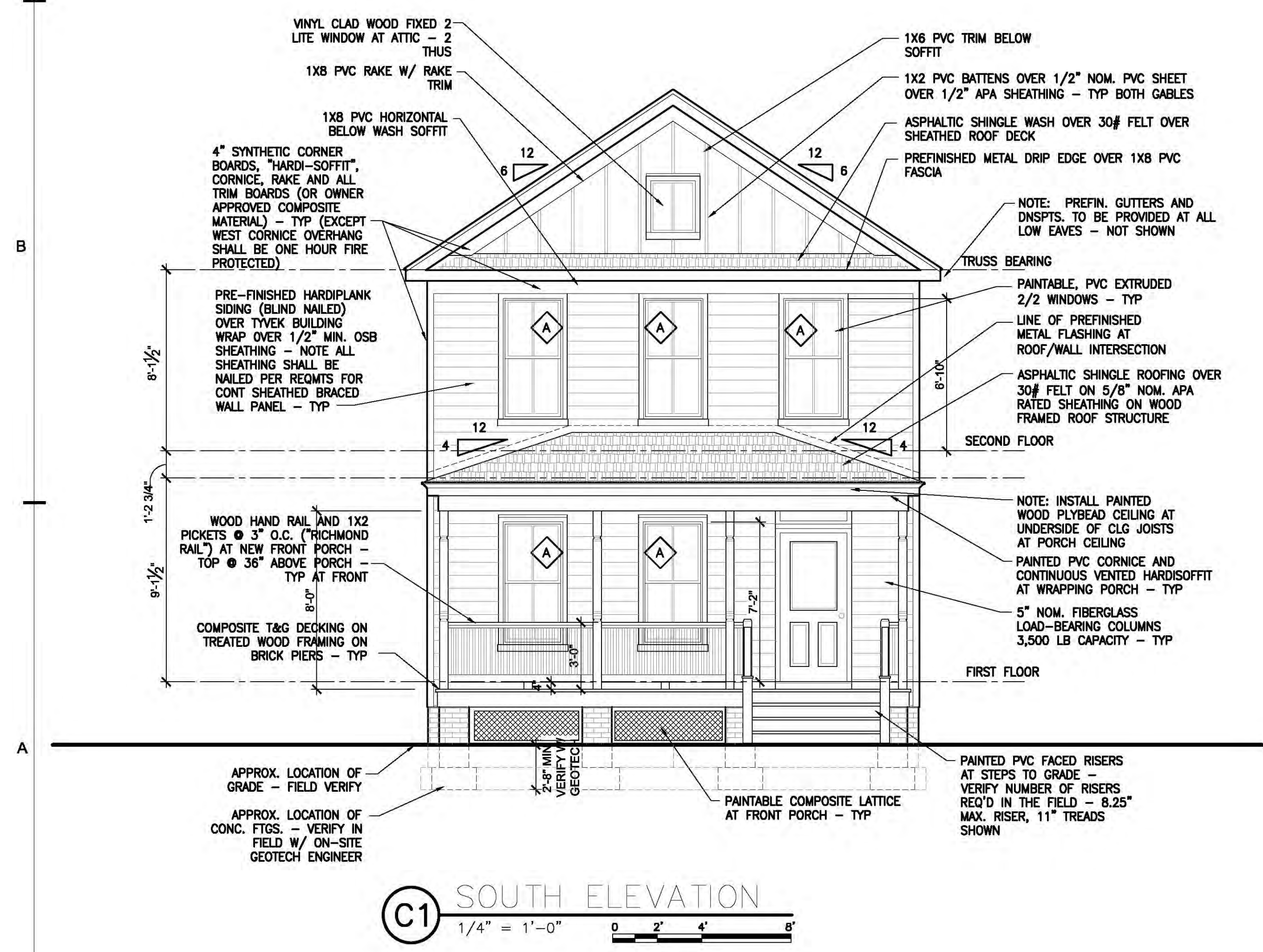
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 sheet 4 of 6
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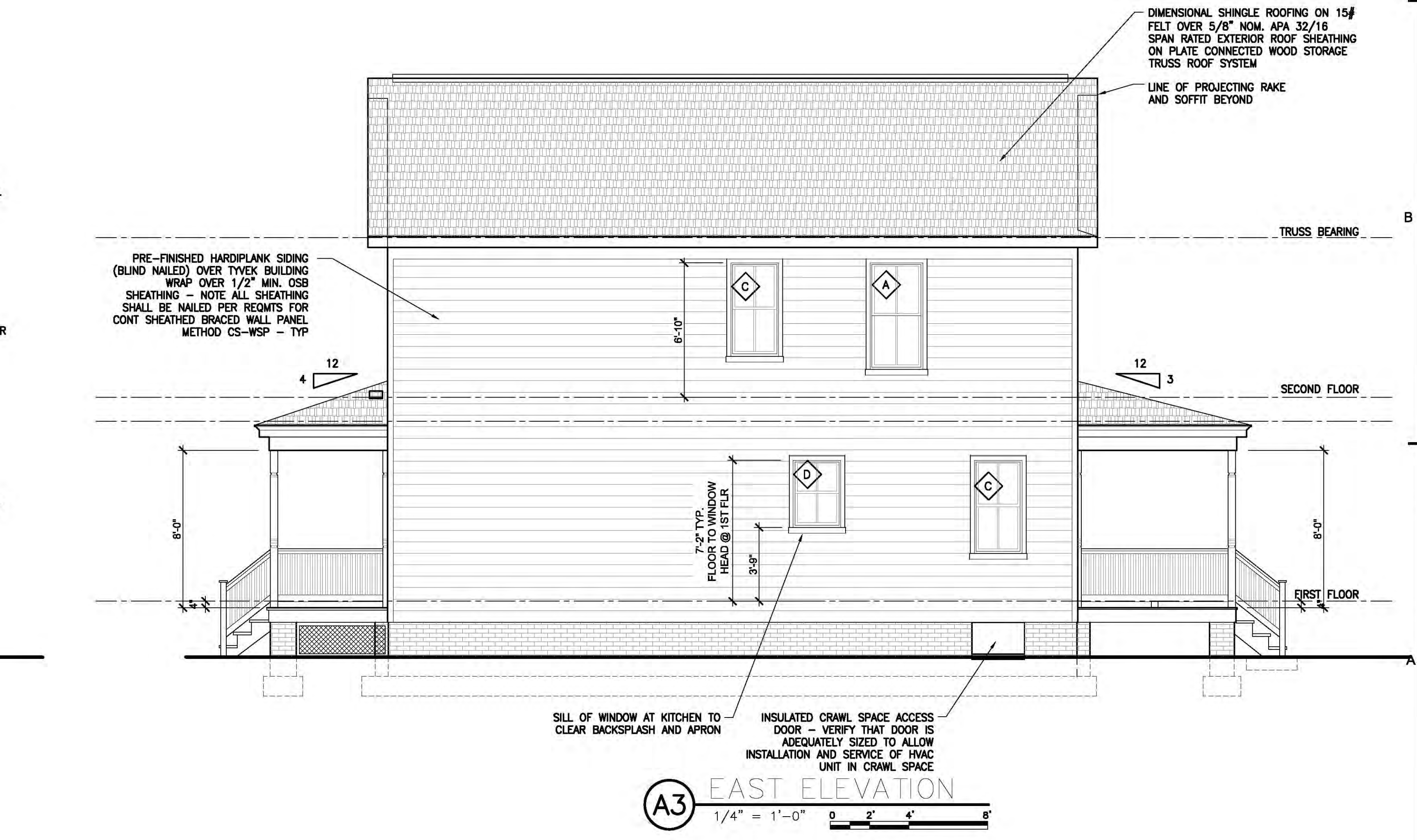
A1 NORTH ELEVATION
 1/4" = 1'-0" 0 2' 4' 8'



C4 WEST ELEVATION
 1/4" = 1'-0" 0 2' 4' 8'



C1 SOUTH ELEVATION
 1/4" = 1'-0" 0 2' 4' 8'



A3 EAST ELEVATION
 1/4" = 1'-0" 0 2' 4' 8'

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drawn:		ch'kd:
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sheet title
BUILDING ELEVATIONS

WINDOW SCHEDULE

MARK	WINDOW			MATL	TYPE	DETAIL			NOTES
	NO.	UNIT	SIZE (ROUGH OPENING)			HEAD	JAMB	SILL	
A	9	2'-8" X 5'-2"	34" 65.25"	VERIFY VINYL CLAD WOOD	DBL HUNG				INSULATED - LOW 'E' ARGON FILLED MUST MEET EGRESS REQUIREMENT
B	2	PR 2'-4" X 5'-2"	59.625" 65.25"	VERIFY VINYL CLAD WOOD	TWIN DBL HUNG				INSULATED - LOW 'E' ARGON FILLED
C	4	2'-4" X 4'-6"	30" 57.25"	VERIFY VINYL CLAD WOOD	DBL HUNG				INSULATED - LOW 'E' ARGON FILLED SAFETY GLAZING - BATH/STAIR
D	1	2'-4" X 3'-2"	30" 41.25"	VERIFY VINYL CLAD WOOD	DBL HUNG				INSULATED - LOW 'E' ARGON FILLED SILL TO CLEAR BACKSPLASH/APRON
E	1	3'-0" X 1'-6"	VERIFY VERIFY	VERIFY VINYL CLAD WOOD	SLIDER				INSULATED - LOW 'E' ARGON FILLED MUST MEET SAFETY GLASS REQUIREMENT

- WINDOW NOTES:
- ALL WINDOW UNITS SHALL BE PROVIDED WITH INSECT SCREENS
 - ALL WINDOWS WILL BE PROVIDED WITH AND HAVE INSTALLED NEW 5/4 X 4 "HARDITRIM" OR "AZEK" AT ALL EXTERIOR JAMBS AND HEAD.
 - PROVIDE TEMPERED SAFETY GLAZING IN ALL WINDOWS LOCATED IN HAZARDOUS LOCATIONS PER IRC 2012, SECTION R308.4. PROVIDE TEMPERED GLAZING IN ALL BATHROOM WINDOWS. SEE PLANS.
 - THE WINDOWS SHOWN ON THE DRAWINGS AND SCHEDULED ARE BASED ON LEGACY VINYL SASH CLAD FRAME "DOUBLE HUNG SERIES 180". SIMULATED 2/2 DOUBLE HUNG WINDOW PRODUCT - TILT SASH UNITS, SPACER BAR BETWEEN THE GLASS AND MUNTINS MOUNTED INBOARD AND OUTBOARD OF THE INSULATED GLASS UNIT.

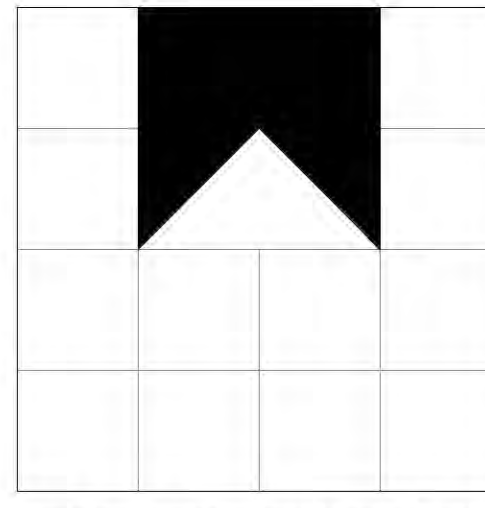
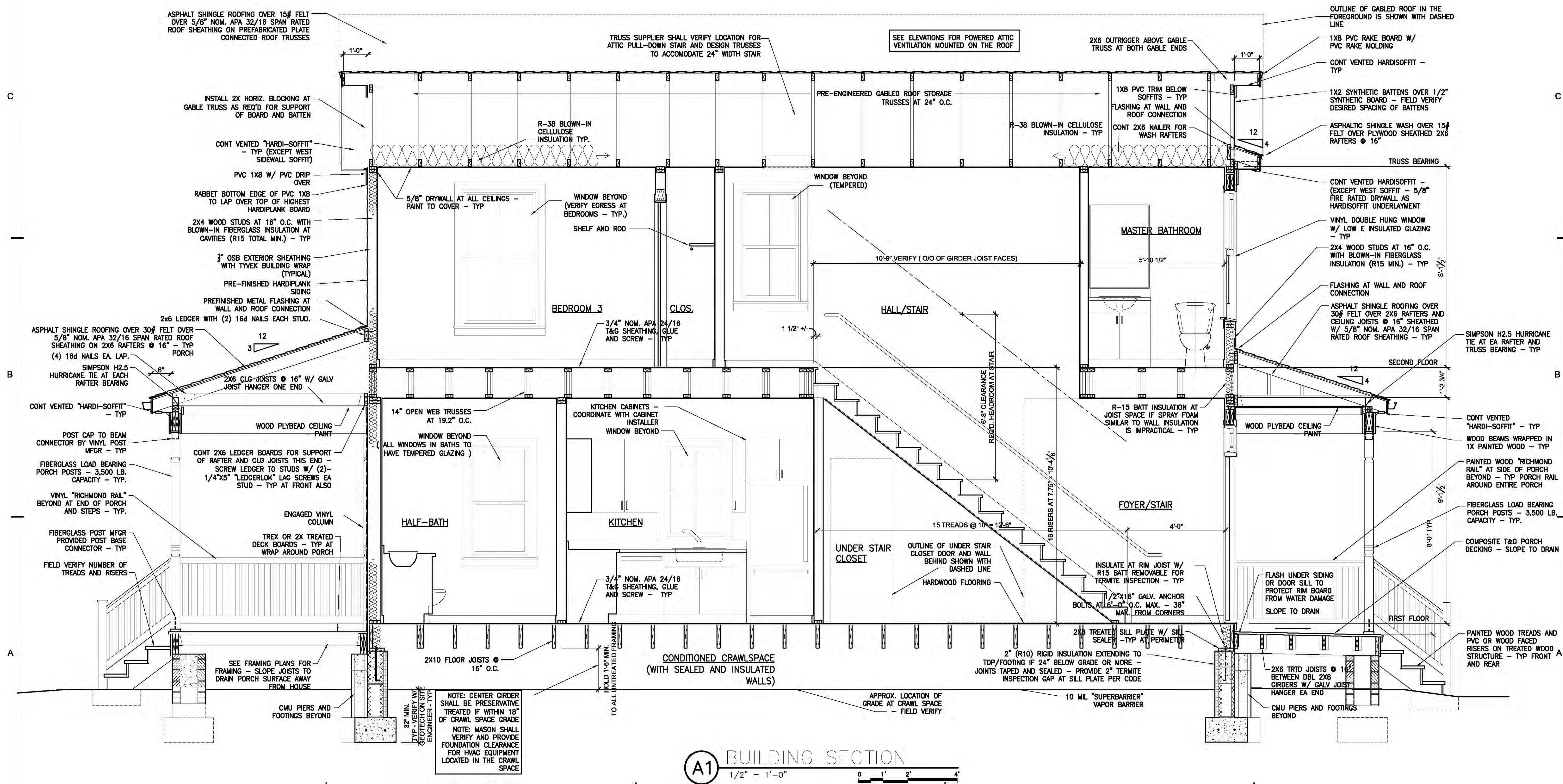
DOOR SCHEDULE

MARK	DOOR		FRAME			DETAIL	FIRE RATING LABEL	HARDWARE		NOTES
	WD	HGT	MATL	TYPE	DEPTH			SET NO	KEYSIDE RM NO	
101A	3'-0"	6'-8"	1-3/4"	METAL	1/2 GLASS 3PANTL	WD	4 1/2"		EXT	MAIN ENTRY - 1/2 GLASS OVER 2 RAISED PANELS
101B	2'-6"	6'-8"	1-3/8"	COMP.	6PANTL	WD	6 1/2"			VERIFY UPPER RT. CORNER TRIM TO FIT AT STRINGER
102A	6'-2"	6'-8"		CASED	OPNG.	WD	6 1/2"			CASED OPENING
102B	6'-0"	6'-8"		CASED	OPNG.	WD	6 1/2"			CASED OPENING
104A	2'-10"	6'-8"		CASED	OPNG.	WD	6 1/2"			CASED OPENING
106A	2'-8"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			HALF BATH
108A	3'-0"	6'-8"	1-3/4"	WOOD	GLASS FRENCH	WD	4 1/2"		ALUM.	TEMPERED INSULATED LOW 'E' ARGON FULL LITE WITH MUNTINS BETWEEN

- DOOR NOTES:
- ALL DOOR HARDWARE TO HAVE LEVER OPERATORS, OR ADA COMPLIANT

SECOND FLOOR

201A	2'-8"	6'-8"	1-3/8"	WOOD	6PANTL	WD	4 1/2"			LAUNDRY
201B	2'-8"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			LINEN CLOSET
202A	2'-8"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			BEDROOM
203A	2'-4"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			CLOSET
204A	2'-4"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			MASTER BATH
204B	1'-6"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			LINEN CLOSET
205A	2'-4"	6'-8"	1-3/8"	COMP.	3PANTL	WD	4 1/2"			HALL BATH
207A	2'-8"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			BEDROOM 2
207B	PR 2'-0"	6'-8"	1-3/8"	COMP.	3PANTL	WD	4 1/2"			CLOSET
209A	2'-8"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			BEDROOM 3
210A	2'-4"	6'-8"	1-3/8"	COMP.	6PANTL	WD	4 1/2"			CLOSET



DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

new single family residence
1800 ALBANY AVENUE
 RICHMOND, VIRGINIA
 PREPARED FOR PROJECT-HOMES

mark	date	description
	01.30.20	PERMIT SET

job #: 2020-0001
draw: drw
ch/kd: drw
cad #: A301.DWG

sheet title
BUILDING SECTION AND SCHEDULES
A301
sheet **6 of 6**
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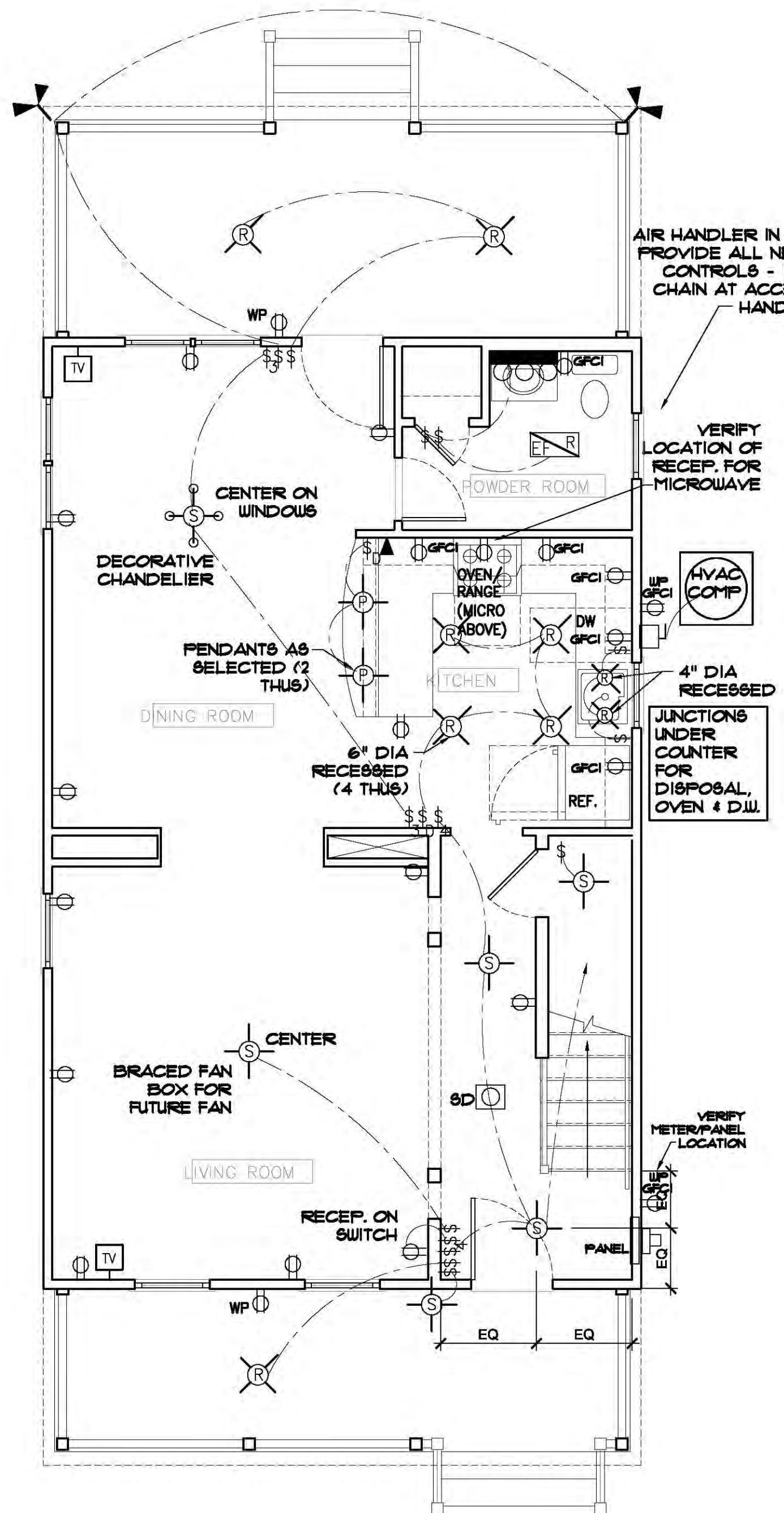
A1 BUILDING SECTION
1/2" = 1'-0"
0 1' 2'

ELECTRICAL LEGEND

- COAXIAL TELEVISION CABLE
- TELEPHONE RECEPTACLE
- CEILING MTD LIGHT
- WALL LANTERN
- RECESSED LIGHT
- PENDANT LIGHT
- CEILING FAN AND LIGHT ON BRACED FAN BOX
- BATH COMBO RECESSED LIGHT/EXHAUST FAN - BROAN MODEL 144
- WALL MTD VANITY LIGHT
- CLOSET FLOURESCENT STRIP (VERIFY IF ANY)
- MOTION ACTIVATED YARD LIGHT - WIRED TO SWITCH IN KITCHEN
- SWITCH, SINGLE POLE WITH DIMMING (D)
- SWITCH, THREE WAY
- SWITCH, FOUR WAY
- DUPLEX RECEPTACLE
- DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT
- 220 VOLT RECEPTACLE
- DUPLEX RECEPTACLE ON GROUND FAULT INTERRUPTION CIRCUIT IN WATER PROOF ENCLOSURE
- SMOKE ALARM - ALL SMOKE ALARMS SHALL BE INTERCONNECTED

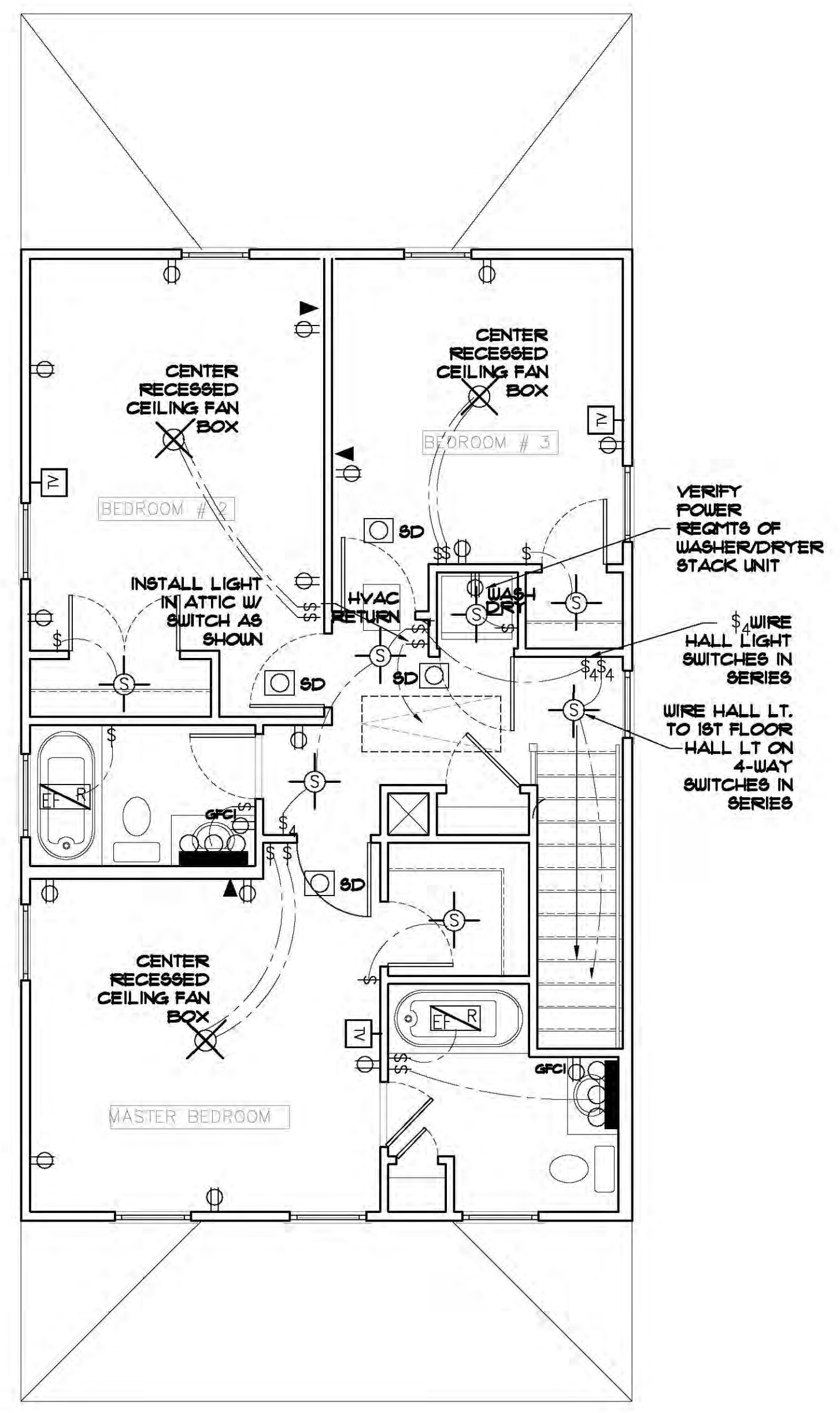
NOTE: ELECTRICAL SUBCONTRACTOR SHALL VERIFY AND COORDINATE WITH PROJECT-HOMES THE LOCATION AND TYPE OF ALL ELECTRICAL DEVICES SUCH AS SWITCHES, RECEPTACLES AND WIRING RUNS

NOTE: ALL ELECTRICAL WORK SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE 2015 VIRGINIA RESIDENTIAL CODE AND CODE-CURRENT EDITION OF THE NATIONAL ELECTRICAL CODE



A1 ELECTRICAL FIRST FLOOR PLAN
1/4" = 1'-0"

NOTE: THIS DRAWING IS PROVIDED FOR GENERAL DESIGN INTENT AND LOCATION OF ELECTRICAL ITEMS. ELECTRICAL SUB-CONTRACTOR SHALL PROVIDE CODE-COMPLIANT DRAWINGS AS REQUIRED FOR BUILDING PERMIT AND CONSTRUCTION.



A4 ELECTRICAL SECOND FLOOR PLAN
1/4" = 1'-0"

DAVID R. WINN, LLC
residential design
10132 BERRYMEADE PLACE
GLEN ALLEN, VIRGINIA 23060
(804) 252-0948

new single family residence
1800 ALBANY AVENUE
RICHMOND, VIRGINIA
PREPARED FOR PROJECT-HOMES

mark	date	description
	01.30.20	PERMIT SET

job #: 2020-0001
drawn: drw
ch'kd: drw
cad #: E101.DWG

sheet title
ELECTRICAL POWER AND LIGHTING PLANS

E-101

sheet 1 of 1
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Proposed Development Budget
1800 Albany Avenue
Richmond, VA 23234

Development Cost:

Permits/Predevelopment	\$ 3,000.00
Water/Sewer Connections	12,000.00
Construction Cost	189,577.00
Total Construction Cost:	204,577.00
Closing Costs	1,200.00
Financing Costs	1,200.00
Utilities	500.00
Taxes	600.00
Developer Fee:	20,000.00
Total Development Cost:	\$228,077.00

Development Revenue:

Sales Price of home to CLT Buyer:	\$ 187,450.00
Sales Price of land to CLT:	1.00
Blackwell Affordable Homeownership Grant	50,000.00
Less 5% Realtor Commissions	- 9,373.00
Total Revenue from Sale:	\$ 228,078.00

Project:HOMES Single Family Home Development 1999-present

Address	Municipality	Zipcode	Type	Fiscal Year	% AMI		DOT	CLT	Race
2903 Falling Creek Avenue	Chesterfield	23234	Renovation	1999-2000	60-80	\$120,000.00			w
522 Vaden Drive	Richmond	23225	Renovation	1999-2000	60-80	\$120,000.00			b
12654 Staffordshire Road	Midlothian	23113	Renovation	1999-2000	60-80	\$120,000.00			b
1417 Green Pasture Road	Henrico	23150	Renovation	1999-2000	60-80	\$120,000.00			b
1811 North Junaluska Drive	Richmond	23225	Renovation	1999-2000	60-80	\$120,000.00			w
3800 Sunora Drive	Chesterfield	23234	Renovation	2000-2001	60-80	\$120,000.00			b
3016 Hey Road	Richmond	23224	Renovation	2000-2001	60-80	\$120,000.00			w
7426 Sandlewood Drive	Chesterfield	23235	Renovation	2000-2001	60-80	\$125,000.00			b
9811 Kingussle Lane	Chesterfield	23236	Renovation	2000-2001	60-80	\$130,000.00			b
3106 Zion Street	Chesterfield	23234	Renovation	2000-2001	60-80	\$120,000.00			b
124 Wentachee Road	Chesterfield	23236	Renovation	2000-2001	60-80	\$120,000.00			b
117 North Arch Road	Chesterfield	23236	Renovation	2001-2002	60-80	\$120,000.00			w
801 West 49th Street	Richmond	23225	Renovation	2001-2002	50-60	\$90,000.00			w
1104 Fourquare Lane	Richmond	23222	Renovation	2001-2002	60-80	\$90,000.00			b
2347 Stratford Road	Richmond	23225	Renovation	2001-2002	60-80	\$120,000.00			b
1622 Limerick Drive	Richmond	23225	Renovation	2001-2002	60-80	\$120,000.00			w
3861 Fauquier Avenue	Richmond	23227	Renovation	2001-2002	60-80	\$140,000.00			w
3100 South Battlebridge Drive	Henrico	23224	Renovation	2002-2003	60-80	\$120,000.00			b
2508 Haviland Drive	Richmond	23229	Renovation	2002-2003	60-80	\$120,000.00			b
617 Forkland Drive	Chesterfield	23235	Renovation	2002-2003	60-80	\$120,000.00			b
7001 Miami Avenue	Henrico	23226	Renovation	2002-2003	60-80	\$120,000.00			w
2908 Kenwood Avenue	Henrico	23228	Renovation	2002-2003	60-80	\$120,000.00			w
7605 Three Chopt Road	Henrico	23229	Renovation	2003-2004	60-80	\$135,000.00			b
9503 Gardenia Drive	Henrico	23228	Renovation	2003-2004	60-80	\$130,000.00			b
7722 Balla Court	Henrico	23228	Renovation	2003-2004	60-80	\$130,000.00			b
528 North 1st Street	Richmond	23219	Shell Renovation	2004-2005	60-80	\$215,000.00			w
518 North 1st Street	Richmond	23219	Shell Renovation	2004-2005	60-80	\$215,000.00			b
520 North 1st Street	Richmond	23219	Shell Renovation	2005-2006	50-60	\$199,000.00			b
522 1/2 North 1st Street	Richmond	23219	Shell Renovation	2005-2006	50-60	\$199,000.00			b
8313 Vernelle Lane	Henrico	23229	Renovation	2005-2006	60-80	\$120,000.00			b
8312 Shannon Hill Road	Henrico	23229	Renovation	2005-2006	60-80	\$120,000.00			w
8511 Middle Loop	Chesterfield	23235	Renovation	2005-2006	60-80	\$120,000.00			b
1750 West Leigh Street	Richmond	23236	Shell Renovation	2006-2007	60-80	\$225,000.00			b
1752 West Leigh Street	Richmond	23220	Shell Renovation	2006-2007	60-80	\$225,000.00			b
2611 Melbourne Drive	Richmond	23225	Renovation	2006-2007	60-80	\$140,000.00			w
2511 Bells Road	Richmond	23234	Renovation	2007-2008	60-80	\$100,000.00			b
1583 Mt Vernon Street	Petersburg	23805	Renovation	2007-2008	60-80	\$120,000.00			b
2005 Mansion Avenue	Richmond	23224	New Construction	2007-2008	50-60	\$85,000.00	DOT		b
1737 Claiborne Street	Richmond	23220	New Construction	2008-2009	80-100	\$199,000.00			w
1601 Winder Street	Richmond	23220	New Construction	2008-2009	80-100	\$199,000.00			w
710 North 1st Street	Richmond	23219	New Construction	2008-2009	80-100	\$210,000.00	DOT		w
2302 Williamsburg Road	Henrico	23231	Shell Renovation	2008-2009	60-80	\$145,000.00	DOT		b
210 North Virginia Avenue	Henrico	23223	New Construction	2009-2010	60-80	\$158,000.00	DOT		b
214 North Virginia Avenue	Henrico	23223	New Construction	2009-2010	60-80	\$158,000.00	DOT		b
218 North Virginia Avenue	Henrico	23223	New Construction	2009-2010	60-80	\$158,000.00	DOT		w
1400 Willis Street	Richmond	23224	Shell Renovation	2009-2010	60-80	\$110,000.00	DOT		b
1315 Willis Street	Richmond	23224	Shell Renovation	2010-2011	60-80	\$110,000.00	DOT		b
806 North 27th Street	Richmond	23223	Shell Renovation	2010-2011	60-80	\$185,000.00	DOT		w
808 North 27th Street	Richmond	23223	New Construction	2010-2011	60-80	\$185,000.00	DOT		w
810 North 27th Street	Richmond	23223	New Construction	2010-2011	60-80	\$185,000.00	DOT		w
812 North 27th Street	Richmond	23223	New Construction	2010-2011	60-80	\$185,000.00	DOT		w
814 North 27th Street	Richmond	23223	New Construction	2010-2011	60-80	\$185,000.00	DOT		w
308 West Leigh Street	Richmond	23219	Shell Renovation	2011-2012	80-100	\$205,000.00	DOT		w
1213 West Leigh Street	Richmond	23220	Shell Renovation	2011-2012	60-80	\$185,000.00	DOT		w
1409 Porter Street	Richmond	23224	New Construction	2011-2012	80-100	\$210,000.00			w
1413 Porter Street	Richmond	23224	New Construction	2011-2012	80-100	\$210,000.00			w
1740 West Leigh Street	Richmond	23220	Shell Renovation	2011-2012	60-80	\$165,000.00	DOT		w
3112 Dillyn Court	Henrico	23222	New Construction	2011-2012	60-80	\$140,000.00	DOT		b
3108 Dillyn Court	Henrico	23222	New Construction	2011-2012	60-80	\$140,000.00	DOT		b
1432 Minefee Street	Richmond	23224	New Construction	2011-2012	50-60	\$100,000.00	DOT		b
822 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT		b
824 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT		w
826 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT		w
1203 Willow Street	Richmond	23222	Shell Renovation	2012-2013	50-60	\$85,000.00	DOT		b
1201 Spruce Street	Richmond	23222	Shell Renovation	2012-2013	60-80	\$85,000.00	DOT		b
2219 1st Avenue	Richmond	23222	Shell Renovation	2012-2013	60-80	\$79,000.00	DOT		b
828 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT		w
830 North 27th Street	Richmond	23223	Shell Renovation	2012-2013	60-80	\$145,000.00	DOT		w
1201 Willow Street	Richmond	23222	Shell Renovation	2012-2013	60-80	\$85,000.00	DOT		b
2711 Henrico Drive	Richmond	23222	Renovation	2013-2014	50-60	\$85,000.00			w
1110 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	50-60	\$99,000.00	DOT		w
1112 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	80-100	\$99,000.00	DOT		b
1114 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$99,000.00	DOT		b
1116 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$99,000.00	DOT		b
1118 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	80-100	\$99,000.00	DOT		w
1120 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$99,000.00	DOT		w
1122 North 31st Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$99,000.00	DOT		w

1310 North 27th Street	Richmond	23223	Shell Renovation	2013-2014	60-80	\$167,000.00	DOT	a
109 Chuck Road	Henrico	23223	New Construction	2013-2014	60-80	\$140,000.00	DOT	b
112 Chuck Road	Henrico	23223	New Construction	2013-2014	50-60	\$140,000.00	DOT	b
108 Chuck Road	Henrico	23223	New Construction	2013-2014	60-80	\$140,000.00	DOT	b
105 Chuck Road	Henrico	23223	New Construction	2013-2014	60-80	\$140,000.00	DOT	b
1322 North 28th Street	Richmond	23222	Shell Renovation	2014-2015	80-100	\$159,000.00		w
1305 North 26th Street	Richmond	23223	New Construction	2014-2015	60-80	\$165,000.00	DOT	w
2608 P Street	Richmond	23223	Shell Renovation	2014-2015	60-80	\$165,000.00	DOT	w
1308 North 27th Street	Richmond	23223	Shell Renovation	2014-2015	60-80	\$165,000.00	DOT	w
1314 North 27th Street	Richmond	23223	New Construction	2014-2015	50-60	\$165,000.00	DOT	b
1320 1/2 North 27th Street	Richmond	23223	New Construction	2014-2015	60-80	\$165,000.00	DOT	w
1339 North 27th Street	Richmond	23223	New Construction	2014-2015	60-80	\$165,000.00		w
1318 North 28th Street	Richmond	23223	New Construction	2014-2015	80-100	\$165,000.00	DOT	w
1302 North 26th Street	Richmond	23223	New Construction	2014-2015	60-80	\$165,000.00	DOT	b
1304 North 26th Street	Richmond	23223	New Construction	2014-2015	60-80	\$165,000.00	DOT	b
3109 Dillyn Court	Henrico	23222	New Construction	2014-2015	60-80	\$140,000.00	DOT	b
3101 Dillyn Court	Henrico	23222	New Construction	2014-2015	60-80	\$140,000.00	DOT	b
1314 North 28th Street	Richmond	23223	New Construction	2014-2015	80-100	\$165,000.00		w
1316 North 28th Street	Richmond	23223	New Construction	2014-2015	80-100	\$165,000.00		w
1307 North 28th Street	Richmond	23223	Shell Renovation	2014-2015	80-100	\$165,000.00		w
2028 Moore Street	Richmond	23221	New Construction	2014-2015	60-80	\$160,000.00	DOT	b
2032 Moore Street	Richmond	23221	New Construction	2014-2015	60-80	\$160,000.00	DOT	w
2017 Moore Street	Richmond	23221	New Construction	2014-2015	60-80	\$160,000.00	DOT	w
1850 Moore Street	Richmond	23221	New Construction	2015-2016	60-80	\$165,000.00	DOT	w
1856 Moore Street	Richmond	23221	New Construction	2015-2016	60-80	\$165,000.00	DOT	a
2035 Moore Street	Richmond	23221	New Construction	2015-2016	60-80	\$165,000.00	DOT	w
2039 Moore Street	Richmond	23221	New Construction	2015-2016	60-80	\$165,000.00	DOT	w
2018 Moore Street	Richmond	23221	New Construction	2015-2016	60-80	\$169,000.00	DOT	b
2022 Moore Street	Richmond	23221	New Construction	2015-2016	60-80	\$169,000.00	DOT	w
2026 Moore Street	Richmond	23221	New Construction	2015-2016	60-80	\$169,000.00	DOT	w
1320 North 27th Street	Richmond	23223	New Construction	2015-2016	60-80	\$165,000.00	DOT	w
1318 North 27th Street	Richmond	23223	New Construction	2015-2016	60-80	\$165,000.00	DOT	w
1321 North 26th Street	Richmond	23223	New Construction	2015-2016	60-80	\$169,000.00	DOT	w
1325 North 26th Street	Richmond	23223	New Construction	2015-2016	60-80	\$169,000.00	DOT	b
1315 North 26th Street	Richmond	23223	New Construction	2015-2016	60-80	\$165,000.00	DOT	mr
1007 North 27th Street	Richmond	23223	Shell Renovation	2015-2016	60-80	\$174,000.00	DOT	w
1009 North 27th Street	Richmond	23223	Shell Renovation	2015-2016	60-80	\$174,000.00	DOT	b
1704 Rose Ave	Richmond	23222	New Construction	2015-2016	60-80	\$169,000.00	DOT	b
1706 Rose Ave	Richmond	23222	New Construction	2015-2016	60-80	\$169,000.00	DOT	w
1712 Rose Ave	Richmond	23222	New Construction	2015-2016	60-80	\$169,000.00	DOT	w
1716 Rose Ave	Richmond	23222	New Construction	2015-2016	60-80	\$169,000.00	DOT	w
737 Arnold Avenue	Richmond	23222	New Construction	2015-2016	50-60	\$85,000.00		w
2105 Ingram Avenue	Richmond	23224	New Construction	2016-2017	50-60	\$100,000.00		b
204 Kalmia	Henrico	23075	Modular New Construction	2016-2017	60-80	\$135,000.00	DOT	b
1329 North 28th	Richmond	23223	New Construction	2016-2017	60-80	\$150,000.00		b
1331 North 28th	Richmond	23223	New Construction	2016-2017	60-80	\$150,000.00	DOT	b
1318 North 26th	Richmond	23223	New Construction	2016-2017	60-80	\$170,000.00	DOT	w
1337 North 26th	Richmond	23223	New Construction	2016-2017	60-80	\$170,000.00	DOT	w
1103 Liegh	Richmond	23220	New Construction	2016-2017	60-80	\$184,000.00	DOT	w
1107 Leigh	Richmond	23220	New Construction	2016-2017	60-80	\$184,000.00	DOT	w
1118 Catherine	Richmond	23220	New Construction	2016-2017	60-80	\$184,000.00	DOT	w
1128 Catherine	Richmond	23220	New Construction	2016-2017	60-80	\$184,000.00	DOT	w
1110 Catherine	Richmond	23220	New Construction	2016-2017	60-80	\$184,000.00	DOT	B
1114 Catherine	Richmond	23220	New Construction	2016-2017	60-80	\$184,000.00	DOT	w
1700 Rose	Richmond	23222	New Construction	2016-2017	60-80	\$179,000.00	DOT	b
1725 Bainbridge	Richmond	23224	Shell Renovation	2016-2017	50-60	\$135,000.00	DOT	b
2012 Albany	Richmond	23224	Shell Renovation	2017-2018	60-80	\$140,000.00	DOT	w
2020 Albany	Richmond	23224	Shell Renovation	2017-2018	60-80	\$140,000.00	DOT	b
1326 North 26th	Richmond	23223	New Construction	2017-2018	60-80	\$185,000.00	DOT	w
1114 North 26th	Richmond	23223	New Construction	2017-2018	80-100	\$180,000.00	DOT	CLT b
22 King	Richmond	23222	New Construction	2017-2018	60-80	\$165,000.00		b
1705 Maury	Richmond	23224	Renovation	2017-2018	60-80	\$170,000.00	DOT	w
1722 Stockton	Richmond	23224	Renovation	2017-2018	60-80	\$155,000.00	DOT	b
1323 North 28th	Richmond	23223	New Construction	2017-2018	60-80	\$170,000.00		w
1207 North 27th	Richmond	23223	New Construction	2017-2018	80-100	\$170,000.00		b
1217 North 29th	Richmond	23223	New Construction	2017-2018	60-80	\$170,000.00	DOT	w
1614 Sewell	Richmond	23222	Shell Renovation	2017-2018	60-80	\$185,000.00	DOT	b
2013 Venable	Richmond	23223	Shell Renovation	2017-2018	60-80	\$185,000.00	DOT	w
2015 Venable	Richmond	23223	Shell Renovation	2017-2018	60-80	\$185,000.00	DOT	w
1109 Catherine	Richmond	23221	New Construction	2017-2018	60-80	\$185,000.00	DOT	w
1117 Catherine	Richmond	23221	New Construction	2017-2018	60-80	\$185,000.00	DOT	w
1205 Catherine	Richmond	23221	New Construction	2017-2018	60-80	\$185,000.00	DOT	w
1211 Catherine	Richmond	23221	New Construction	2017-2018	60-80	\$185,000.00	DOT	w
1804 Boston	Richmond	23224	Renovation	2017-2018	60-80	\$160,000.00	DOT	w
1723 Bainbridge	Richmond	23224	New Construction	2017-2018	60-80	\$180,000.00	DOT	mr
1200 Dance	Richmond	23221	Renovation	2017-2018	60-80	\$185,000.00	DOT	mr
1700 Maury	Richmond	23224	Renovation	2017-2018	60-80	\$160,000.00	DOT	b
1702 Maury	Richmond	23224	Renovation	2017-2018	60-80	\$160,000.00	DOT	w
1801 Maury	Richmond	23224	Renovation	2017-2018	60-80	\$160,000.00	DOT	w
1903 Maury	Richmond	23224	Renovation	2018-2019	60-80	\$167,000.00	DOT	w
1201 Wallace	Richmond	23221	Renovation	2018-2019	60-80	\$185,000.00	DOT	w
1607 Blair	Richmond	23221	Shell Renovation	2018-2019	60-80	\$169,000.00	DOT	CLT w
1104 Eggleston	Richmond	23221	Shell Renovation	2018-2019	60-80	\$185,000.00		CLT w
901 Sumpter	Richmond	23221	Shell Renovation	2018-2019	60-80	\$167,000.00		CLT w
903 Sumpter	Richmond	23221	Shell Renovation	2018-2019	60-80	\$167,000.00		CLT b
1223 North 29 th	Richmond	23223	New Construction	2018-2019	80-100	\$200,000.00		CLT w
1225 North 29 th	Richmond	23223	New Construction	2018-2019	80-100	\$200,000.00	DOT	CLT b

1722 Rose	Richmond	23222	New Construction	2018-2019	60-80	\$185,000.00	DOT	w
1728 Rose	Richmond	23222	New Construction	2018-2019	60-80	\$185,000.00	DOT	b
16 Fells	Richmond	23222	New Construction	2018-2019	60-80	\$185,000.00	DOT	b
2 King	Richmond	23222	New Construction	2018-2019	60-80	\$175,000.00	DOT	w
2011 Albany	Richmond	23224	New Construction	2018-2019	60-80	\$165,000.00	DOT	b
4 North Ivy	Henrico	23075	Shell Renovation	2018-2019	60-80	\$185,000.00	DOT	w
3100 Pineland	Chesterfield		New Construction	2018-2019	60-80	\$165,000.00	DOT	w
1615 Winder	Richmond	23221	Shell Renovation	2018-2019	60-80	\$185,000.00	DOT CLT	mr
1505 New York	Richmond	23221	Shell Renovation	2018-2019	60-80	\$177,000.00	CLT	w
1501 New York	Richmond	23221	Shell Renovation	2018-2019	60-80	\$177,000.00	CLT	w
1507 New York	Richmond	23221	Shell Renovation	2018-2019	60-80	\$177,000.00	CLT	w
1511 Kansas	Richmond	23221	Shell Renovation	2018-2019	60-80	\$177,000.00	CLT	w
2006 Maury	Richmond	23224	Renovation	2018-2019	60-80	\$161,000.00	DOT	b
2002 Maury	Richmond	23224	Renovation	2019-2020	60-80	\$161,000.00		b
2010 Albany	Richmond	23224	New Construction	2019-2020	60-80	\$175,000.00	DOT	w
1904 Maury	Richmond	23224	Renovation	2019-2020	60-80	\$167,000.00		b
20 King Street	Richmond	23222	New Construction	2019-2020	50-60	\$189,000.00	DOT	b
1209.5 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$190,000.00	DOT	w
1207.5 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	b
1205.5 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	w
1115 Randolph	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	w
1205 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	w
1207 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	w
1203.5 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	b
1113 Randolph	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	w
19 South Elm	Henrico	23075	New Construction	2019-2020	60-80	\$165,000.00	DOT	b
2415 Everett	Richmond	23224	Modular New Construction	2019-2020	60-80	\$130,000.00		b
1130 Randolph	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	w
120 Holly	Henrico	23221	Shell Renovation	2019-2020	60-80	\$135,000.00	DOT	w
1702 Jaqueline	Richmond	23221	Shell Renovation	2019-2020	60-80	\$192,000.00	CLT	mr
900 Harrison	Richmond	23221	New Construction	2019-2020	60-80	\$189,000.00		w
1216 Catherine	Richmond	23221	New Construction	2019-2020	60-80	\$215,000.00	DOT	w
1209 Leigh	Richmond	23221	New Construction	2019-2020	60-80	\$185,000.00	DOT	mr
1700 Jaqueline	Richmond	23221	Shell Renovation	2019-2020	60-80	\$192,000.00	CLT	w
1704 Jaqueline	Richmond	23221	Shell Renovation	2019-2020	60-80	\$192,000.00	CLT	w
1121 Meade	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	w
2006 Barton	Richmond	23222	New Construction	2019-2020	60-80	\$215,000.00	DOT	mr
1117 Meade	Richmond	23221	Shell Renovation	2019-2020	60-80	\$174,000.00	CLT	w
1903 Greenwood	Richmond	23222	New Construction	2020-2021	60-80	\$215,000.00	DOT	b
1905 Greenwood	Richmond	23222	New Construction	2020-2021	60-80	\$215,000.00	DOT	w
2117 Barton	Richmond	23222	New Construction	2020-2021	60-80	\$215,000.00	DOT	w
10 King	Richmond	23222	New Construction	2020-2021	60-80	\$190,000.00	DOT	b
1404 Colorado	Richmond	23223	Shell Renovation	2020-2021	60-80	\$174,000.00	CLT	w
1710 Jaqueline Street	Richmond	23223	Shell Renovation	2020-2021	60-80	\$192,000.00	CLT	w
1203 Idlewood Avenue	Richmond	23223	Shell Renovation	2020-2021	60-80	\$200,000.00	DOT	w
1506 Kansas Avenue	Richmond	23223	Shell Renovation	2020-2021	60-80	\$185,000.00	CLT	w
24 North Juniper	Henrico	23075	Modular New Construction	2020-2021	60-80	\$185,000.00	CLT	b
19 North Ivy	Henrico	23075	Modular New Construction	2020-2021	60-80	\$185,000.00	CLT	b
1707 Albany	Richmond	23224	Renovation	2020-2021	60-80	\$185,000.00		b
1820 Maury	Richmond	23224	Renovation	2020-2021	60-80	\$185,000.00		b
1803 Maury	Richmond	23224	Renovation	2020-2021	60-80	\$185,000.00		b
1202 Dance	Richmond	23221	Renovation	2020-2021	60-80	\$185,000.00		b
1301 Dance	Richmond	23221	Renovation	2020-2021	60-80	\$185,000.00		w
1203 Wallace	Richmond	23221	Renovation	2020-2021	60-80	\$185,000.00		b
1401 Lakeview	Richmond	23221	Renovation	2020-2021	60-80	\$185,000.00		b
418 north 23rd	Richmond	23223	New Construction	2020-2021	50-60	\$155,000.00	CLT	b
1611 Montiero	Richmond	23222	Shell Renovation	2020-2021	60-80	\$190,000.00		w
1606 Sewell	Richmond	23222	Shell Renovation	2020-2021	60-80	\$185,000.00		w
1801 Texas	Richmond	23221	Shell Renovation	2021-2021	60-80	\$185,000.00		b

Average Sales Price	\$160,636.77
Total Secondary Financing	135
Total Renovations	51
Total Shell Renovations	68
Total Modular New Construction	4
Total new Construction	100
Grand Total Single Family	223

Annual Income

50-60	15	7%
60-80	191	86%
80-100	17	8%
Total	223	100%

Community Land Trust Units

26

Homebuyer Race

White	119	53%
Black	95	43%
Multi racial	7	3%
Asian	2	1%
Total	223	100%